

VICINITY MAP
NOT TO SCALE

SITE DATA:	
TAX PARCELS:	09216042
TOTAL ACREAGE:	± 120.07 ACRES (PER SURVEY)
EX. CONCORD AVE. R/W:	± 1.08 ACRES (APPROX.)
RESIDENTIAL ACREAGE:	± 118.99 ACRES (APPROX.)
EXISTING LOCATION:	MONROE, NC
ZONING:	R-20
EXISTING:	BLUE SKY MEADOWS - CD
PROPOSED:	
TOTAL POTENTIAL LOTS:	MAXIMUM 360 LOTS

MINIMUM SETBACKS:	
FRONT:	20'
SIDE:	5'
CORNER:	10'
REAR:	20'
MINIMUM LOT SIZE:	6,000 SF
MINIMUM LOT WIDTH:	50'
AVERAGE LOT SIZE:	6,748 SF
DENSITY:	± 3.03 DU/AC*
COMMON OPEN SPACE:	
REQUIRED OPEN SPACE:	± 14.85 ACRES (12.5%)
PROVIDED OPEN SPACE:	± 23.76 ACRES (20%) (INCLUDES ± 5.99 ACRES WITHIN FLOODPLAIN)

* OPEN SPACE CALCULATION AND DENSITY BASED ON RESIDENTIAL ACREAGE OF ± 118.99 ACRES (APPROX.)

INDEX OF SHEETS			
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 OF 5	CONDITIONAL REZONING PLAN - COVER SHEET	06/26/2019	09/05/2019
2 OF 5	CONDITIONAL REZONING PLAN - SITE PLAN	06/26/2019	09/05/2019
3 OF 5	CONDITIONAL REZONING PLAN - SITE PLAN	06/26/2019	09/05/2019
4 OF 5	CONDITIONAL REZONING PLAN - TREE PLAN	06/26/2019	09/05/2019
5 OF 5	CONDITIONAL REZONING PLAN - REPRESENTATIVE ELEVATIONS	06/26/2019	09/05/2019

ENGINEERING FIRM: ESP ASSOCIATES, INC.
ADDRESS: 3475 LAKEMONT BLVD.
FORT MILL, SC 29708
PHONE: (803) 835-0990
FAX: (802) 802-2515
CONTACT: ALEX BONDA
EMAIL: ABONDA@ESPASSOCIATES.COM

DEVELOPER: PACE DEVELOPMENT GROUP
ADDRESS: 6719-C FAIRVIEW ROAD
CHARLOTTE, NC 28210

REVIEW AGENCY: CITY OF MONROE PLANNING DEPARTMENT
ADDRESS: 300 W CROWELL STREET
MONROE, NC 28112
(704) 282-4500

Site Number	OBJECTID	Parcel Number	Owner	Mailing Address	Mailing City	Mailing State	Mailing Zip
1	12687634	92360001	PIYER FARMS, LLC	2148 SKYWAY DR	MONROE	NC	28110
2	921604	CUTHBERTSON JOHN P	2610 KIMBREL DR	MONROE	NC	28110	
3	926785	BERNARDIN WILLE JR & WIFE DOROTHY	2638 KIMBREL DR	MONROE	NC	28110	
4	12687635	WHITE HELEN M	2640 KIMBREL DR	MONROE	NC	28110	
5	926787	WHITE HERMAN W	2624 KIMBREL DR	MONROE	NC	28110	
6	12687657	SINGH ETWARUDHUNANI	2620 KIMBREL DR	MONROE	NC	28110	
7	926788	ETWARUDHUNANI JOHN R & KAMAKI A M	2600 KIMBREL DR	MONROE	NC	28110	
8	12687658	ETWARUDHUNANI VICKI A M	2580 KIMBREL DR	MONROE	NC	28110	
9	12687659	ETWARUDHUNANI SARGI P	412 W ROOSEVELT BLD	MONROE	NC	28110	
10	12687189	ETWARUDHUNANI FIFI D N & W F JOY M	2502 KIMBREL DR	MONROE	NC	28110	
11	12687660	ETWARUDHUNANI FIFI D N & W F JOY M	2502 KIMBREL DR	MONROE	NC	28110	
12	12687661	ETWARUDHUNANI VICKI A M	2502 KIMBREL DR	MONROE	NC	28110	
13	12687668	GILLMAN SALLY A	2490 SECREST SHORT CIR	MONROE	NC	28110	
14	12687194	GIMMOR E WADREN ET AL	2470 SECREST SHORT CIR	MONROE	NC	28110	
15	12687195	GIMMOR E WADREN ET AL	1700 SECREST SHORT CIR	MONROE	NC	28110	
16	09746264	LIFE PATH INC AMPL	2460 SECREST SHORT CIR	MONROE	NC	28110	
17	12687671	CROOK GEORGE MARVIN JR	2703 SECREST SHORT CIR RD	MONROE	NC	28110	
18	921903	JOHNSON LIAHN P	314 HICKS CREEK DR	MONROE	NC	28110	
19	12687672	JOHNSON LIAHN P	314 HICKS CREEK DR	MONROE	NC	28110	
20	12687673	JOHNSON LIAHN P & LESLIE	610 HICKS CREEK DR	MONROE	NC	28110	
21	921903	EVANS MITCHELL G	610 HICKS CREEK DR	MONROE	NC	28110	
22	12687807	EVANS MITCHELL G	608 HICKS CREEK DR	MONROE	NC	28110	
23	12687118	EVANS RAYMOND W III	604 HICKS CREEK DR	MONROE	NC	28110	
24	12687337	HOWARD NORMAN DEWITT	516 HICKS CREEK DR	MONROE	NC	28110	
25	12687316	SPARKS JULIA JAMES S & JUDY D	512 HICKS CREEK DR	MONROE	NC	28110	
26	12687005	HUMKE TONILLE	510 HICKS CREEK DR	MONROE	NC	28110	
27	12687196	TEAGUE DAVID C	506 HICKS CREEK DR	MONROE	NC	28110	
28	12687134	TEAGUE DAVID C	504 HICKS CREEK DR	MONROE	NC	28110	
29	921903	BERGOM WILLIAM WESON & MARTHA S	1293 PINEBROOK CIR	ABERDEEN	NC	28110	
30	12687112	BERGOM DAVID C	1293 PINEBROOK CIR	ABERDEEN	NC	28110	
31	12687331	BERGOM DAVID C	1293 PINEBROOK CIR	ABERDEEN	NC	28110	
32	921903	HAGAU MICHAEL SCOTT JR	2203 CONCORD AVE	MONROE	NC	28110	
33	12687003	HAGAU MICHAEL SCOTT JR	1171 FORBIDDEN DR	MONROE	NC	28110	
34	12687202	92360001	2122 CONCORD AVE	MONROE	NC	28110	
35	12685560	PIYER DOROTHY MOSER TRUSTEE	2170 CONCORD AVE	MONROE	NC	28110	
36	12685554	PIYER DOROTHY MOSER TRUSTEE	2170 CONCORD AVE	MONROE	NC	28110	
37	12685497	91980003 UNION COUNTY	500 NORTH MAIN ST	MONROE	NC	28110	
38	12685505	91980003 CAROLINA FARMACIDE A/C	PO BOX 805	MONROE	NC	28110	
Property Owner	12687194	921604	HOWE FRANKLIN W JR ET AL	PO BOX 1609	MONROE	NC	28110

GRAPHIC SCALE

0 100 200 300 400 500
(IN FEET)



Know what's below.
Call before you dig.

BLUE SKY MEADOWS CONDITIONAL DISTRICT

LOCATED IN CITY OF MONROE, NORTH CAROLINA



DEVELOPMENT STANDARDS (CONTINUED)

XII. VESTED RIGHTS PROVISION
1. ONCE THIS CONDITIONAL REZONING PETITION IS APPROVED BY THE CITY OF MONROE, THEN THE PETITIONER HEREBY REQUESTS A FIVE-YEAR VESTED RIGHT TO UNDERTAKE AND COMPLETE THE DEVELOPMENT OF THIS SITE UNDER THE TERMS AND CONDITIONS AS SO APPROVED, COMMENCING UPON APPROVAL OF THIS CONDITIONAL REZONING PETITION BY THE MONROE CITY COUNCIL. THE PETITIONER MAKES THIS REQUEST FOR A FIVE-YEAR VESTED RIGHT DUE TO THE SIZE AND PHASING OF THE PROPOSED DEVELOPMENT, MARKET CONDITIONS AND THE LEVEL OF INVESTMENT INVOLVED.

XIII. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS
1. IF THIS CONDITIONAL REZONING PETITION IS APPROVED, CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS SHALL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE PROPERTY AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNEES.

2. IF THIS PETITION IS APPROVED, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DENIED TO INCLUDE THE HERB, DIPERS, PIRATE, REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNEES OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

DEVELOPMENT STANDARDS
I. GENERAL PROVISIONS
1. THESE DEVELOPMENT STANDARDS FORM A PART OF THE CONDITIONAL REZONING PLAN ASSOCIATED WITH THE CONDITIONAL REZONING PETITION. THE PETITION FILED BY PACE DEVELOPMENT GROUP ("THE PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON AN APPROXIMATELY 120.07 ACRE SITE LOCATED WITH FRONTAGE ALONG CONCORD AVENUE, DEPICTED ON THE CONDITIONAL REZONING PLAN ("THE SITE"). THE SITE IS FURTHER DESCRIBED AS TAX PARCEL NUMBER 09216042.
2. DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THE CONDITIONAL REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE - UDO, THE "ORDINANCE".
3. BASE INFORMATION PROVIDED BY UNION COUNTY GIS DATA AND BOUNDARY SURVEY TITLED "BOUNDARY SURVEY OF TAX PARCEL 09216042" BY ESP ASSOCIATES DATED JULY 12, 2019.

II. PERMITTED USES
1. THE SITE SHALL BE DEVOTED TO A SINGLE-FAMILY RESIDENTIAL COMMUNITY CONTAINING A MAXIMUM OF 360 LOTS AND ANY INCIDENTAL AND ACCESSORY USES RELATED THERETO THAT ARE ALLOWED IN RESIDENTIAL ZONING DISTRICTS.

3. GRADING AND LOCATION OF RETAINING WALLS SHALL BE PROVIDED DURING THE CONSTRUCTION DOCUMENTATION PHASE.

IV. TRANSPORTATION
1. USE OF PUBLIC ACCESS TO THE PROPERTY SHALL BE AS GENERALLY DEPICTED ON THE CONDITIONAL REZONING PLAN. THE PLACEMENTS AND CONFIGURATIONS OF THE VEHICULAR ACCESS POINTS SHOWN ON THE CONDITIONAL REZONING PLAN ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS ALONG WITH ANY ADJUSTMENTS REQUIRED BY THE CITY(IES) OR NC DOT FOR APPROVAL.

2. AS DEPICTED ON THE CONDITIONAL REZONING PLAN, THE SITE SHALL BE SERVED BY INTERNAL PUBLIC STREETS. MINOR ADJUSTMENTS TO THE LOCATIONS OF THE INTERNAL PUBLIC STREETS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.

3. THE PETITIONER SHALL CONSTRUCT INTERNAL STREETS TO MEET CITY OF MONROE PUBLIC ROADWAY STANDARDS.

4. CONCORD AVENUE & PROPOSED ACCESS "A" - FULL MOVEMENT ACCESS LOCATED OPPOSITE UNION COUNTY HEALTH DEPARTMENT/DDS ON CONCORD AVENUE WE PROPOSE THE FOLLOWING INTERSECTION CONFIGURATION FOR PROPOSED ACCESS "A":

a. ONE INGRESS LANE AND TWO EGRESS LANES (AN EASTBOUND COMBINED LEFT TURN LANE AND A RIGHT TURN LANE WITH 100 FEET OF STORAGE ON PROPOSED ACCESS "A")

b. A NORTHBOUND LEFT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

c. A SOUTHBOUND RIGHT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

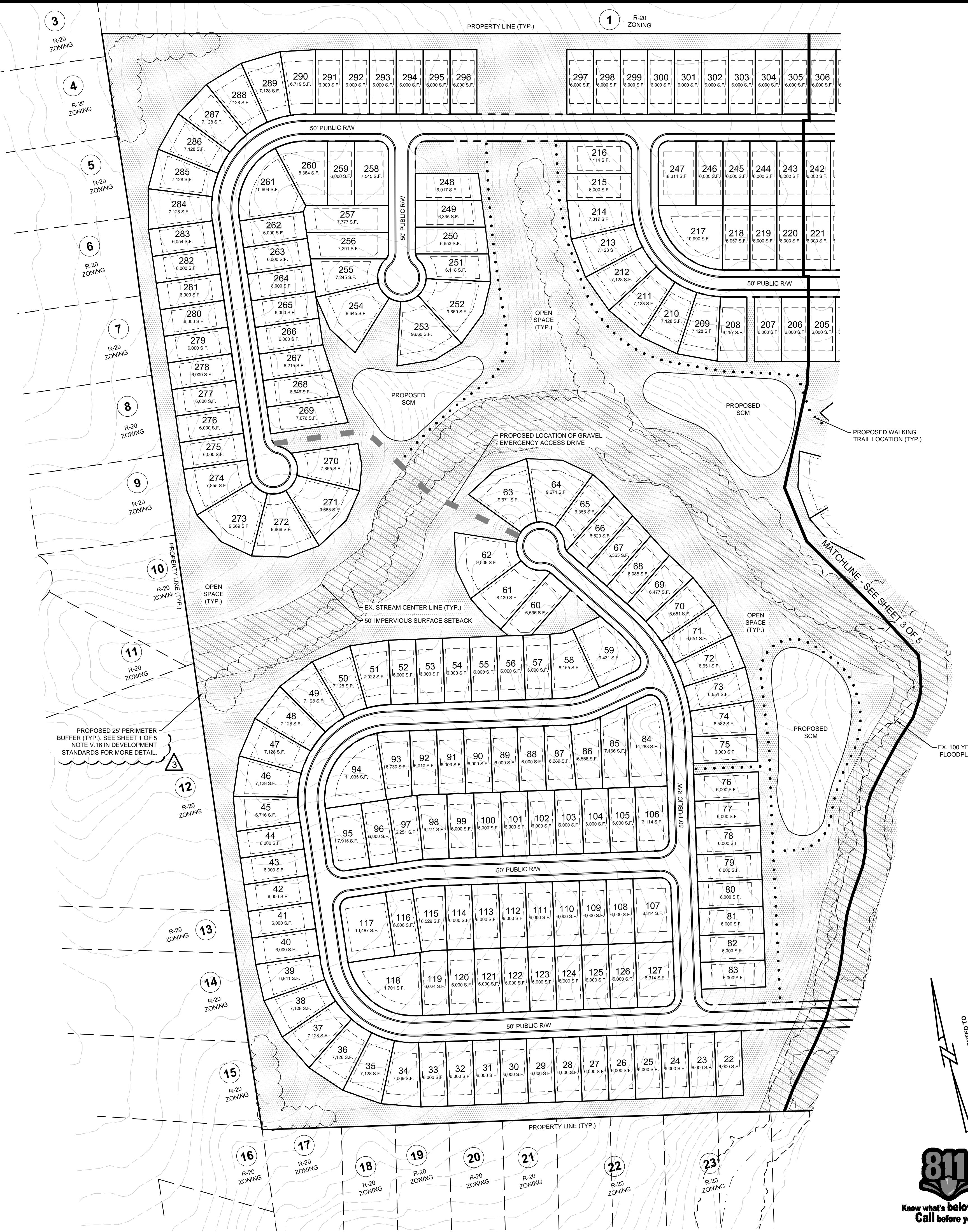
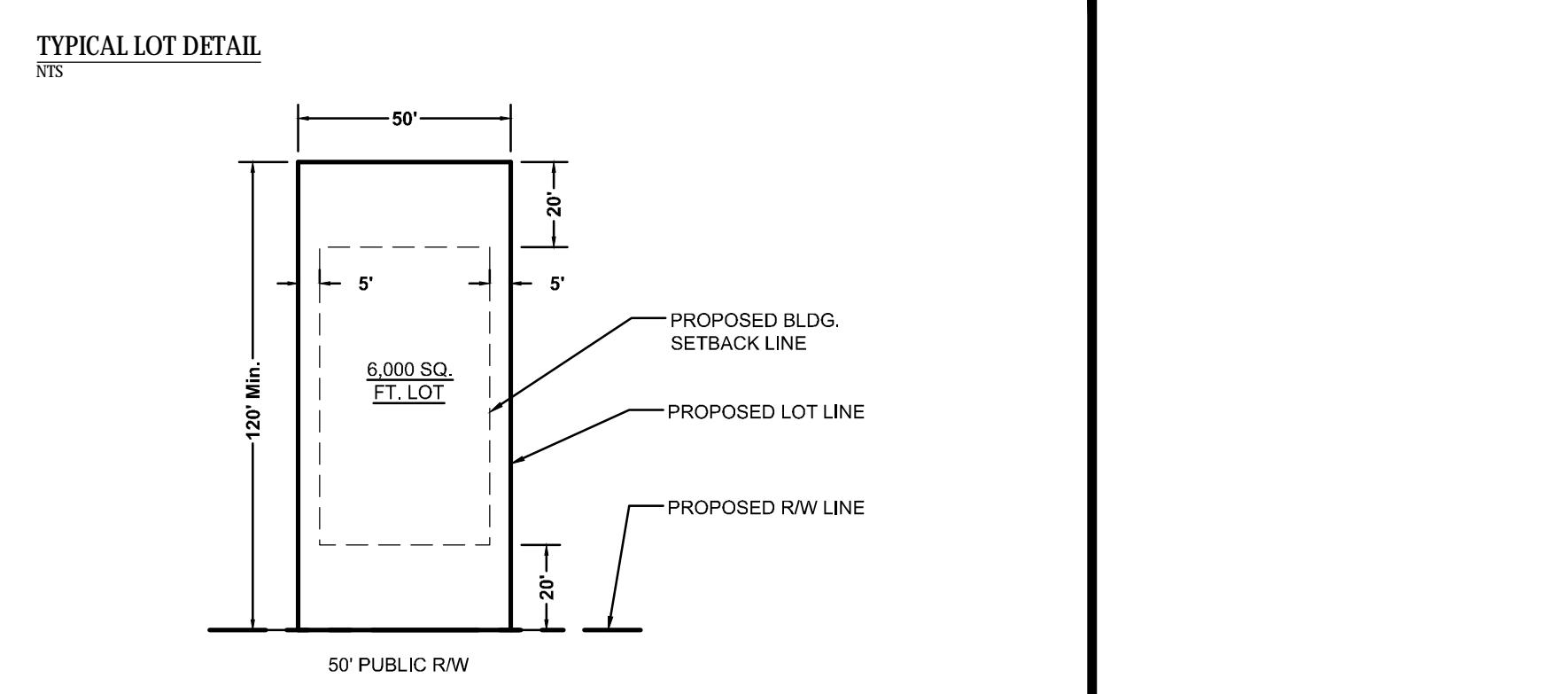
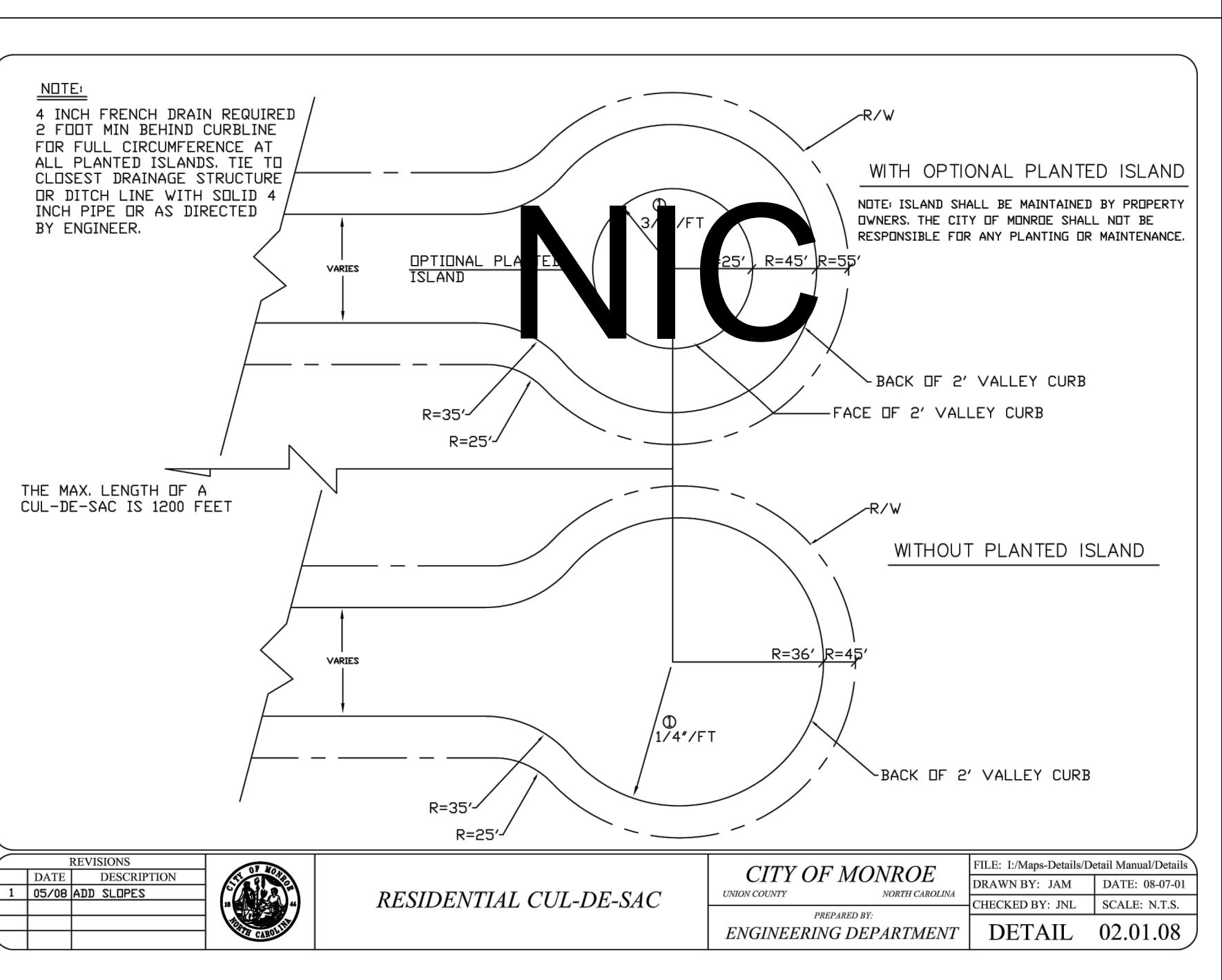
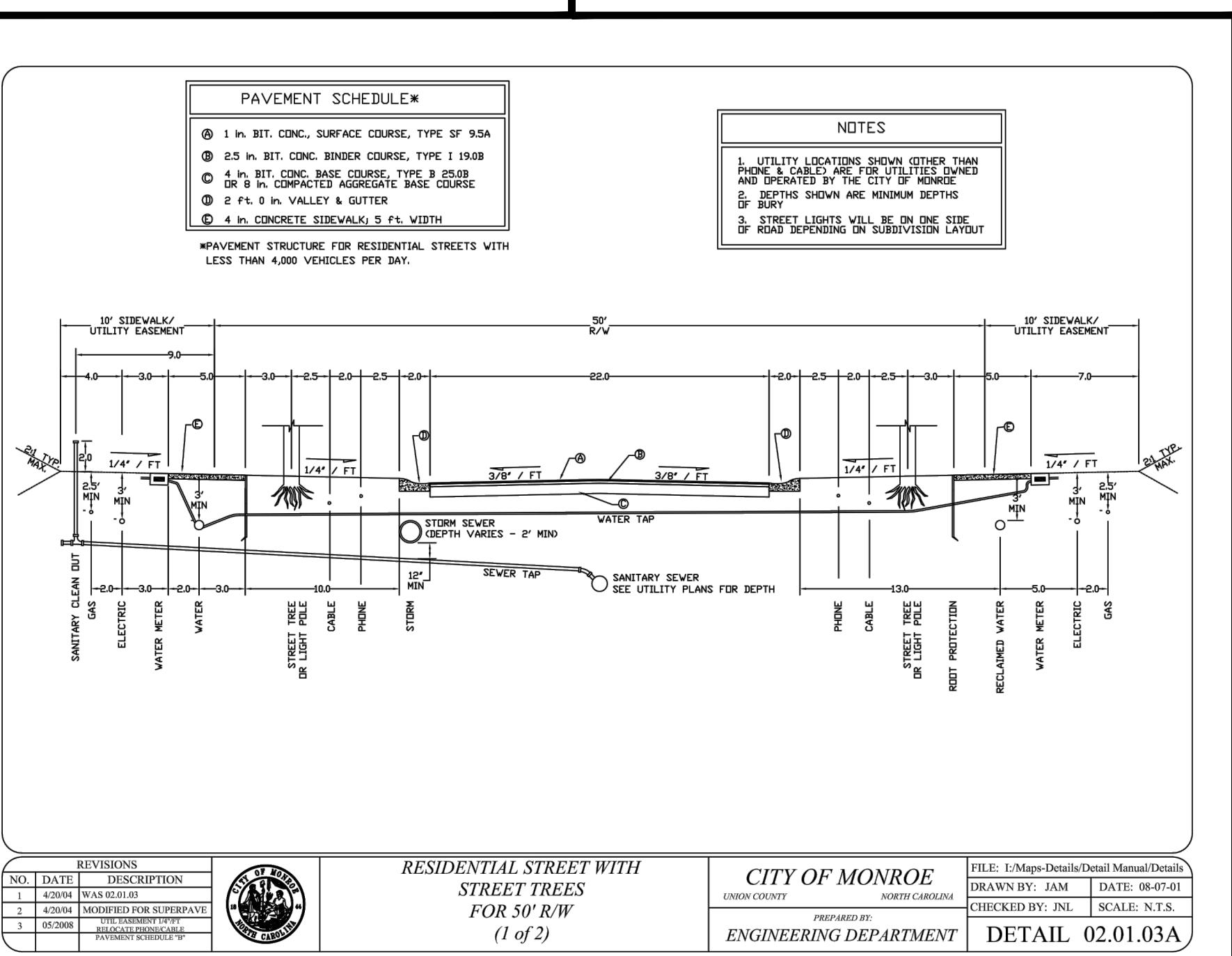
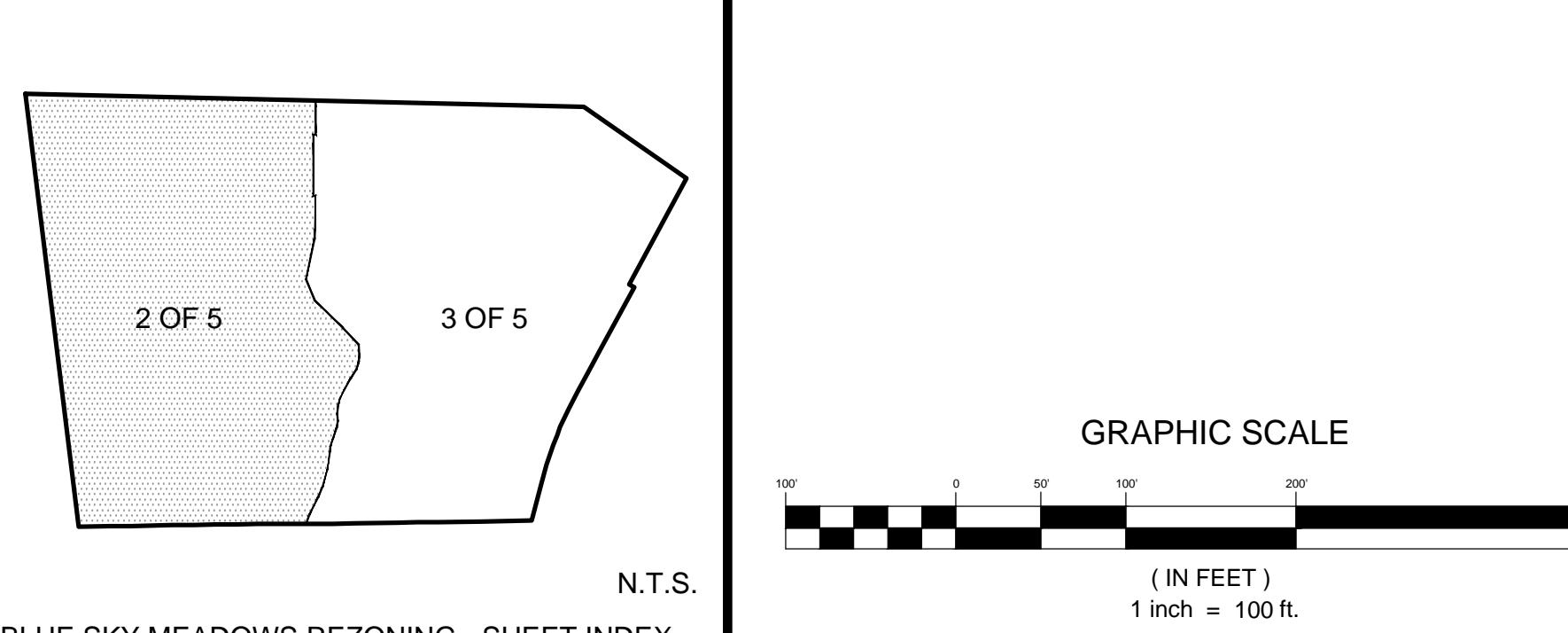
5. CONCORD AVENUE & PROPOSED ACCESS "B" - FULL MOVEMENT ACCESS LOCATED ON CONCORD AVENUE APPROXIMATELY 630 FEET SOUTH OF THE UNION COUNTY HEALTH DEPARTMENT/DDS DRIVEWAY.

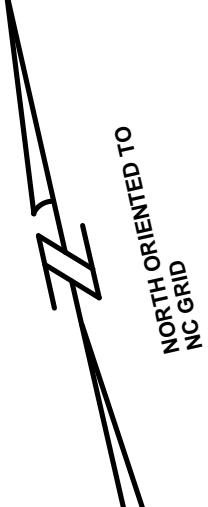
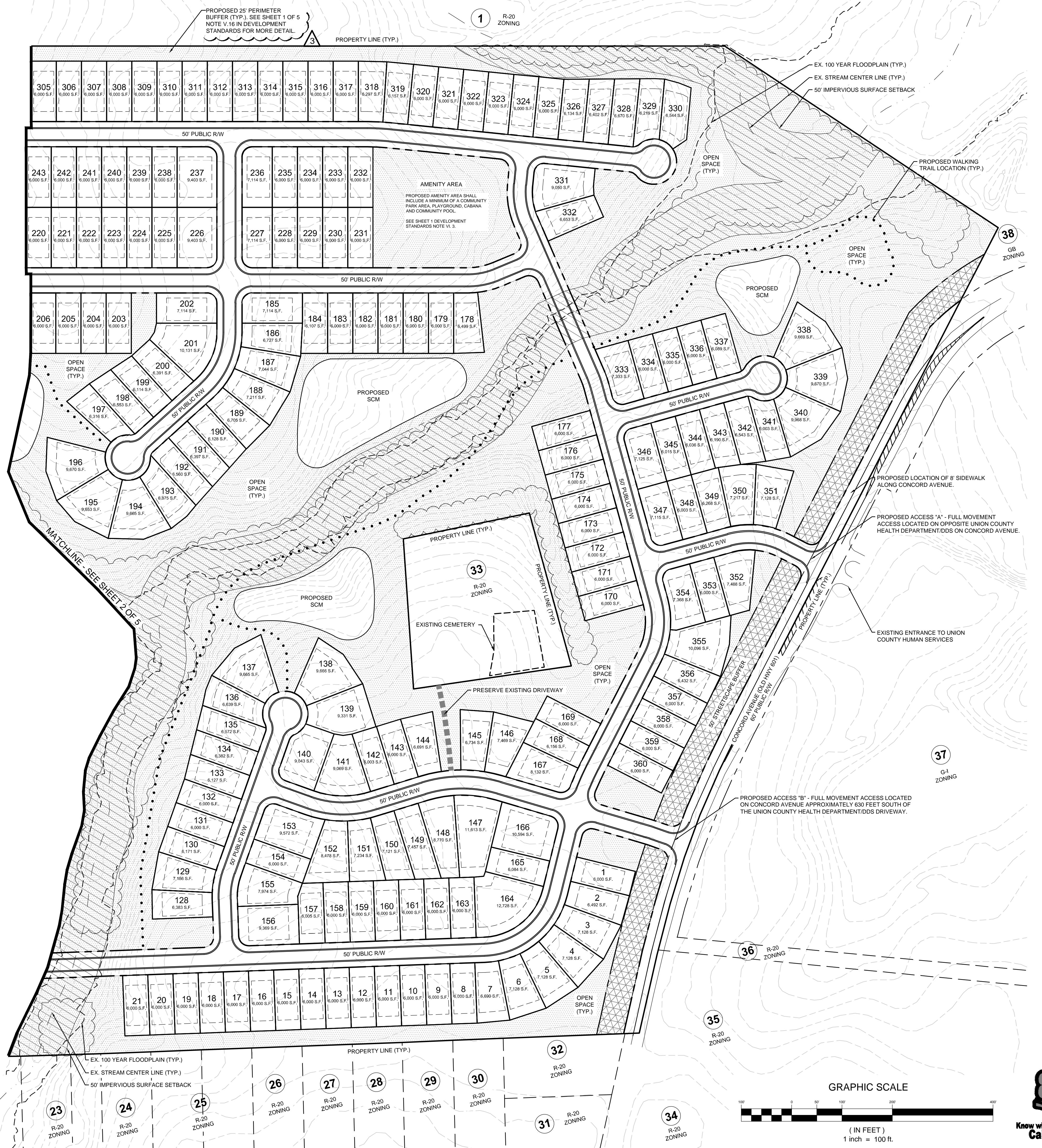
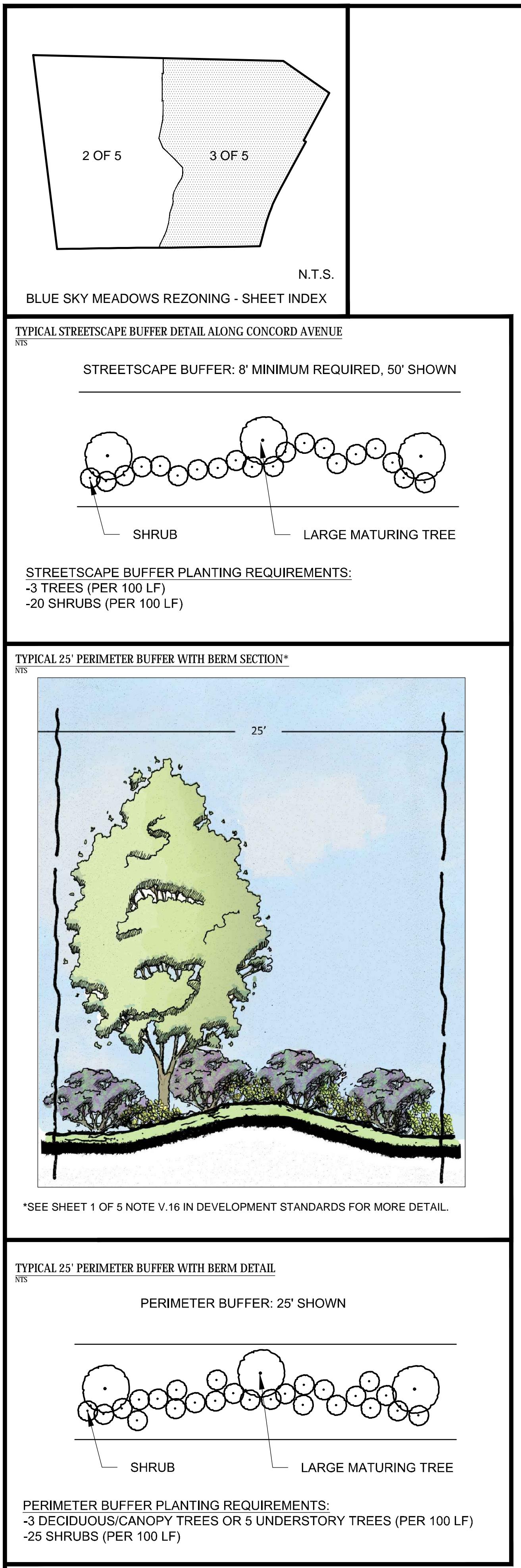
a. ONE INGRESS LANE AND ONE EGRESS LANE (AN EASTBOUND COMBINED LEFT/RIGHT TURN LANE ON PROPOSED ACCESS "B")

b. A NORTHBOUND LEFT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

c. A SOUTHBOUND RIGHT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

VI. FIRE ACCESS
1. BASED ON INFORMATION THAT WAS SHARED WITH THE FIRE DEPARTMENT REPRESENTATIVE AT THE CITY'S JULY 10





Now what's below.
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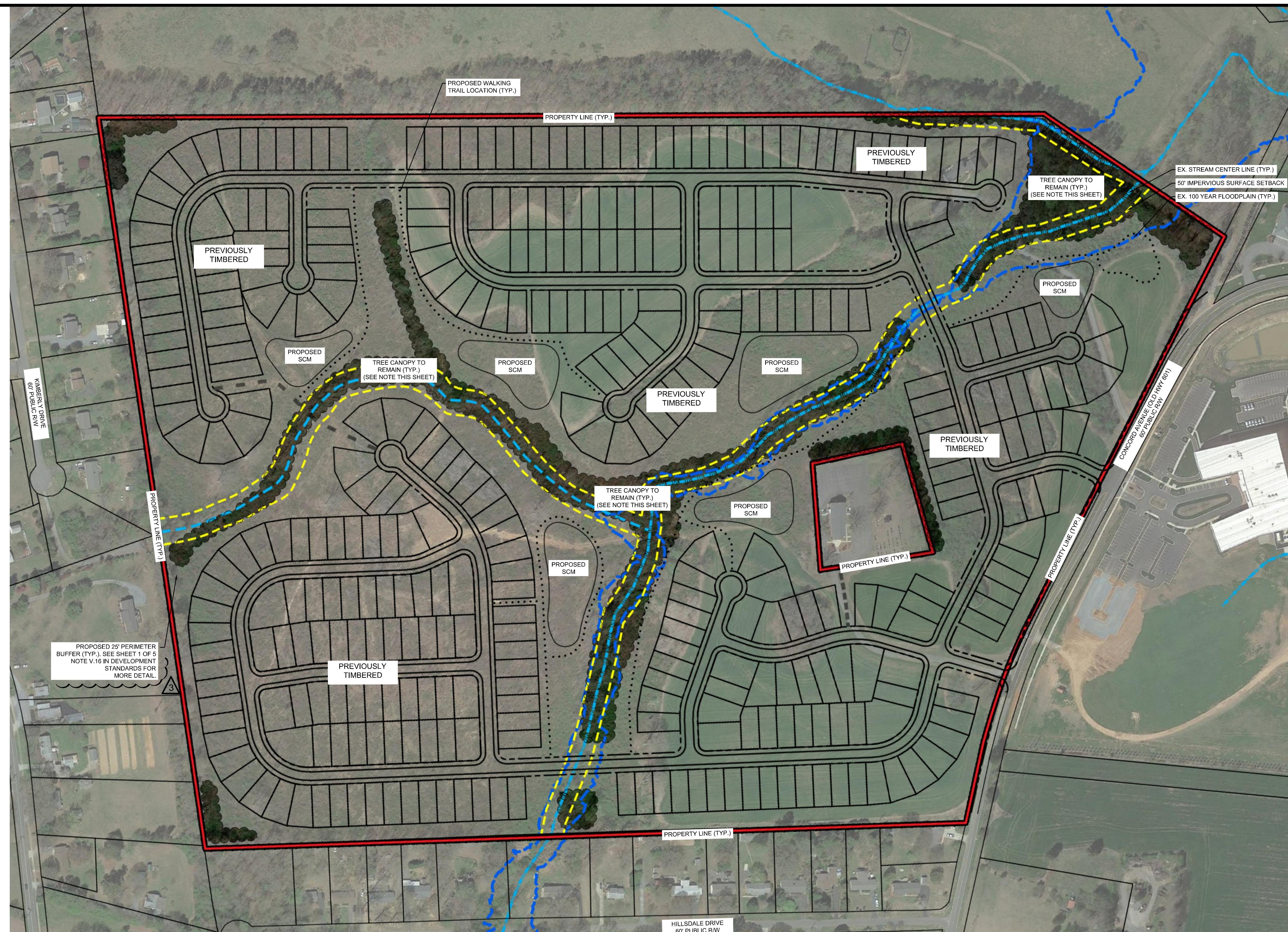


EXISTING TREE CANOPY



CANOPY TO REMAIN

NOTE: TREE ZONES ILLUSTRATED ON THIS EXHIBIT MAY BE ADJUSTED TO ACCOMMODATE TRANSITIONAL GRADING AND UTILITY EASEMENTS AS NEEDED DURING THE FINAL CD DESIGN AND SITE CONSTRUCTION PHASE.



CONDITIONAL REZONING -
TREE PLAN (4 OF 5)

BLUE SKY MEADOWS

CITY OF MONROE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	AB
DESIGNED BY:	AB
DRAWN BY:	SH
PROJECT NUMBER:	GS9100
ORIGINAL DATE:	06/26/2019
SHEET:	4 OF 5

Know what's below.
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NTS

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803-302-2440 (SC)
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