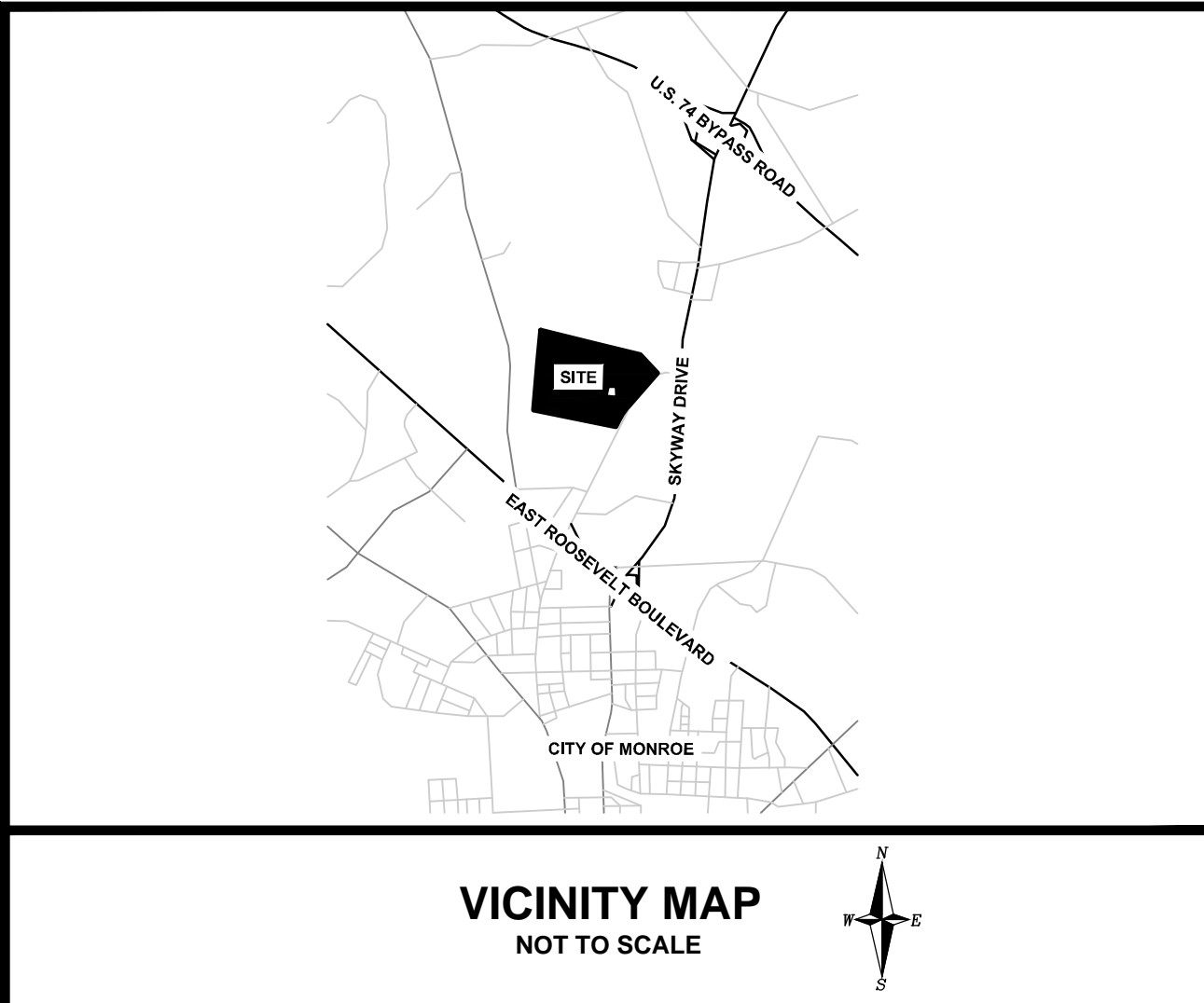


BLUE SKY MEADOWS CONDITIONAL DISTRICT

LOCATED IN

CITY OF MONROE, NORTH CAROLINA



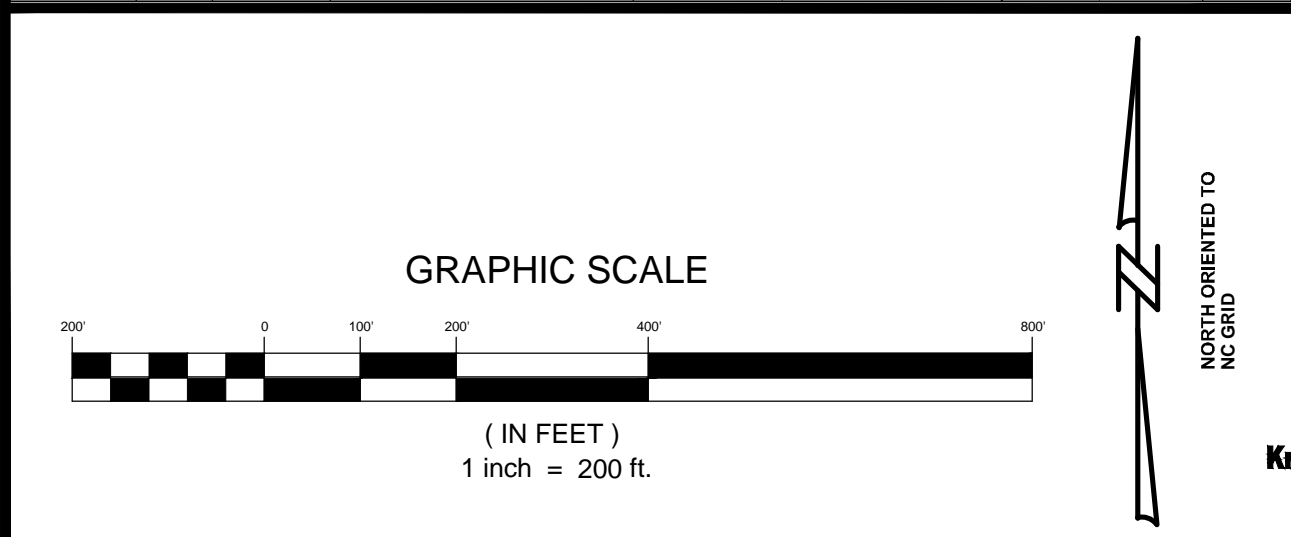
SITE DATA:	
TAX PARCELS:	09216042
TOTAL ACREAGE:	+/- 120.07 ACRES (PER SURVEY)
EX. CONCORD AVE. RW:	+/- 1.06 ACRES (APPROX.)
RESIDENTIAL ACREAGE:	+/- 118.99 ACRES (APPROX.)
EXISTING LOCATION:	MONROE, NC
ZONING:	R-20
EXISTING:	BLUE SKY MEADOWS - CD
PROPOSED:	
TOTAL POTENTIAL LOTS:	MAXIMUM 360 LOTS
MINIMUM SETBACKS:	
FRONT:	20'
SIDE:	5'
CORNER:	10'
REAR:	20'
MINIMUM LOT SIZE:	6,000 SF
MINIMUM LOT WIDTH:	50'
AVERAGE LOT SIZE:	6,746 SF
DENSITY:	+/- 3.03 DU/AC
COMMON OPEN SPACE:	
REQUIRED OPEN SPACE:	+/- 14.85 ACRES (12.5%)
PROVIDED OPEN SPACE:	+/- 23.76 ACRES (20%) (INCLUDES +/- 5.99 ACRES WITHIN FLOODPLAIN)

NOTE: * OPEN SPACE CALCULATION AND DENSITY BASED ON RESIDENTIAL ACREAGE OF +/- 118.99 ACRES (APPROX.)

INDEX OF SHEETS			
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 OF 5	CONDITIONAL REZONING PLAN - COVER SHEET	06/26/2019	09/05/2019
2 OF 5	CONDITIONAL REZONING PLAN - SITE PLAN	06/26/2019	09/05/2019
3 OF 5	CONDITIONAL REZONING PLAN - SITE PLAN	06/26/2019	09/05/2019
4 OF 5	CONDITIONAL REZONING PLAN - TREE PLAN	06/26/2019	09/05/2019
5 OF 5	CONDITIONAL REZONING PLAN - REPRESENTATIVE ELEVATIONS	06/26/2019	09/05/2019

ENGINEERING FIRM:	ESP ASSOCIATES, INC.
ADDRESS:	3475 LAKEMONT BLVD. FORT MILL, SC 29708 (803) 855-0903
PHONE:	(803) 802-2515
FAX:	ALEX BONDA
CONTACT:	ABONDA@ESPASSOCIATES.COM
EMAIL:	
DEVELOPER:	PACE DEVELOPMENT GROUP
ADDRESS:	6719-C FAIRVIEW ROAD CHARLOTTE, NC 28210
REVIEW AGENCY:	CITY OF MONROE PLANNING DEPARTMENT
ADDRESS:	300 W CROWELL STREET MONROE, NC 28112 (704) 282-4500

Site Number	OB/CITY	Parcel Number	Owner	Owner	Mailing Address	Mailing City	Mailing State	Mailing Zip
1	12687034	02160401	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
2	12687034	02160402	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
3	12687034	02160403	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
4	12687034	02160404	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
5	12687034	02160405	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
6	12687034	02160406	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
7	12687034	02160407	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
8	12687034	02160408	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
9	12687034	02160409	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
10	12687034	02160410	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
11	12687034	02160411	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
12	12687034	02160412	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
13	12687034	02160413	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
14	12687034	02160414	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
15	12687034	02160415	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
16	12687034	02160416	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
17	12687034	02160417	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
18	12687034	02160418	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
19	12687034	02160419	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
20	12687034	02160420	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
21	12687034	02160421	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
22	12687034	02160422	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
23	12687034	02160423	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
24	12687034	02160424	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
25	12687034	02160425	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
26	12687034	02160426	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
27	12687034	02160427	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
28	12687034	02160428	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
29	12687034	02160429	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
30	12687034	02160430	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
31	12687034	02160431	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
32	12687034	02160432	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
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34	12687034	02160434	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
35	12687034	02160435	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
36	12687034	02160436	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
37	12687034	02160437	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
38	12687034	02160438	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
39	12687034	02160439	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
40	12687034	02160440	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
41	12687034	02160441	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
42	12687034	02160442	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
43	12687034	02160443	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
44	12687034	02160444	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
45	12687034	02160445	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
46	12687034	02160446	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
47	12687034	02160447	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
48	12687034	02160448	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
49	12687034	02160449	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110
50	12687034	02160450	JOHN P. FRANKLIN	JOHN P. FRANKLIN	1540 S. WYOMING DR.	MONROE	NC	28110



DEVELOPMENT STANDARDS (CONTINUED)	
XII. VESTED RIGHTS PROVISION	
1. ONCE THIS CONDITIONAL REZONING PETITION IS APPROVED BY THE CITY OF MONROE, THEN THE PETITIONER HEREBY REQUESTS A FIVE-YEAR VESTED RIGHT TO UNDERTAKE AND COMPLETE THE DEVELOPMENT OF THIS SITE UNDER THE TERMS AND CONDITIONS AS SO APPROVED, COMMENCING UPON APPROVAL OF THIS CONDITIONAL REZONING PETITION BY THE MONROE CITY COUNCIL. THE PETITIONER MAKES THIS REQUEST FOR A FIVE-YEAR VESTED RIGHT TO THE SIZE AND PHASING OF THE PROPOSED DEVELOPMENT, MARKET CONDITIONS AND THE LEVEL OF INVESTMENT INVOLVED.	
XIII. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS	
1. IF THIS CONDITIONAL REZONING PETITION IS APPROVED, CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS SHALL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.	
2. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.	

DEVELOPMENT STANDARDS

GENERAL PROVISIONS

1. THESE DEVELOPMENT STANDARDS FORM A PART OF THE CONDITIONAL REZONING PLAN ASSOCIATED WITH THE CONDITIONAL REZONING PETITION. THE PETITIONER AGREES TO ACCEPT THE DEVELOPMENT GROUP (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON AN APPROXIMATELY 120.07-ACRE SITE LOCATED WITH FRONTAGE ALONG CONCORD AVENUE, DEPICTED ON THE CONDITIONAL REZONING PLAN (THE "SITE"), THE SITE IS FURTHER DESCRIBED AS TAX PARCEL NUMBER 09216042.

2. DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THE CONDITIONAL REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE - UDO, (THE "ORDINANCE").

3. BASE INFORMATION PROVIDED FOR THE CITY OF MONROE: GIS DATA AND BOUNDARY SURVEY TITLED "BOUNDARY SURVEY OF TAX PARCEL 09216042" BY ESP ASSOCIATES DATED JULY 12, 2019.

II. PERMITTED USES

1. THE SITE SHALL BE DEVOTED TO A SINGLE-FAMILY RESIDENTIAL COMMUNITY CONTAINING A MAXIMUM OF 360 LOTS AND ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN RESIDENTIAL ZONING DISTRICTS.

2. THE PROPOSED AMENITY AREA SHOWN ON PLANS IS APPROXIMATE. DEVELOPER RESERVES THE RIGHT TO ALTER THE SITE PLAN AND AMENITIES PROVIDED AT CONSTRUCTION DOCUMENTATION PHASE.

3. GRADING AND LOCATION OF RETAINING WALLS SHALL BE PROVIDED DURING THE CONSTRUCTION DOCUMENTATION PHASE.

III. TRANSPORTATION

1. VEHICULAR ACCESS TO THE PROPERTY SHALL BE AS GENERALLY DEPICTED ON THE CONDITIONAL REZONING PLAN. THE PLACEMENTS AND CONFIGURATIONS OF THE VEHICULAR ACCESS POINTS SHOWN ON THE CONDITIONAL REZONING PLAN ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS ALONG WITH ANY ADJUSTMENTS REQUIRED BY THE CITY AND/OR NCDD FOR APPROVAL.

2. AS DEPICTED ON THE CONDITIONAL REZONING PLAN, THE SITE SHALL BE SERVED BY INTERNAL PUBLIC STREETS. MINOR ADJUSTMENTS TO THE LOCATIONS OF THE INTERNAL PUBLIC STREETS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.

3. THE PETITIONER SHALL CONSTRUCT INTERNAL STREETS TO MEET CITY OF MONROE PUBLIC ROADWAY STANDARDS.

4. CONCORD AVENUE & PROPOSED ACCESS "A" - FULL MOVEMENT ACCESS LOCATED OPPOSITE UNION COUNTY HEALTH DEPARTMENT/DDS ON CONCORD AVENUE. WE PROPOSED THE FOLLOWING INTERSECTION CONFIGURATION FOR PROPOSED ACCESS "A":

ONE INGRESS LANE AND TWO EGRESS LANES (AN EASTBOUND COMBINED LEFT-TURN LANE AND A RIGHT TURN LANE WITH 100 FEET OF STORAGE ON PROPOSED ACCESS "A")

A NORTHBOUND LEFT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

A SOUTHBOUND RIGHT TURN LANE WITH 100 FEET OF STORAGE ON CONCORD AVENUE

5. CONCORD AVENUE & PROPOSED ACCESS "B" - FULL MOVEMENT ACCESS LOCATED ON CONCORD AVENUE APPROXIMATELY 630 FEET SOUTH OF THE UNION COUNTY HEALTH DEPARTMENT/DDS DRIVEWAY.

ONE INGRESS LANE AND ONE EGRESS LANE (AN EASTBOUND COMBINED LEFT/RIGHT TURN LANE ON PROPOSED ACCESS "B")

IV. FIRE ACCESS

1. BASED ON INFORMATION THAT WAS SHARED WITH THE FIRE DEPARTMENT REPRESENTATIVE AT THE CITY'S JULY 10, 2019 TBC MEETING, ALTERNATIVES WERE DISCUSSED TO HAVE THE DEVELOPER INSTALL A 20' WIDE GRAVEL EMERGENCY ACCESS DRIVE ROADWAY TO CONNECT TWO OF THE WESTERMOST CUL-DE-SACS IN APPROXIMATE LOCATIONS SHOWN ON PAGE 2 OF 5 OF THIS CD REZONING. EMERGENCY SECONDARY ACCESS ROUTE SHALL BE PROVIDED BY THE DEVELOPER IN THE APPROXIMATE LOCATION SHOWN ON THE PLAN TO CONNECT THE TWO PROPOSED RIGHT-OF-WAYS. THE DETAILS AND EXACT LOCATION OF THIS 20' WIDE GRAVEL SECONDARY EMERGENCY ACCESS DRIVE SHALL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION DESIGN PHASE.

V. STREETScape / LANDSCAPING / UTILITIES

1. STREET LIGHTING, STREET SIGNAGE AND MAIL BOXES WITHIN THE PROPOSED DEVELOPMENT SHALL ADHERE TO THE CITY OF MONROE UDO. RECOMMENDED SCHEDULING OF STREET LIGHTS IS SUBJECT TO APPROVAL OF THE ENGINEERING DEPARTMENT. THE CITY OF MONROE WILL BECOME RESPONSIBLE FOR MONTHLY COSTS ONCE THE ROADWAYS ARE ACCEPTED FOR MAINTENANCE.

2. LANDSCAPING TO MEET MINIMUM ORDINANCE REQUIREMENTS.

3. 5' SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF INTERNAL STREETS AND AN 8' SIDEWALK SHALL BE PROVIDED ALONG CONCORD AVENUE. SIDEWALKS SHALL MEET ADA REQUIREMENTS AND INCLUDE CURB RAMPS, LANDING, FLARES, AND TRUNCATED DOMES. DETAILS TO BE PROVIDED DURING CONSTRUCTION DOCUMENTATION PHASE.

4. STREET SIGNS SHALL BE CONSISTENT WITH CITY OF MONROE STANDARD DETAIL OR APPROVED EQUIVALENT. DECORATIVE STREET SIGNS MAY BE INSTALLED (IF DESIRED) AS LONG AS THEY MEET OR EXCEED THE MINIMUM SPECIFICATION ESTABLISHED BY CITY OF MONROE. DETAILS SHALL BE PROVIDED DURING CONSTRUCTION DOCUMENTATION PHASE. DECORATIVE STREET SIGNS SHALL REQUIRE APPROVAL BY CITY ENGINEERING FOR PLACEMENT IN THE STREET RIGHT-OF-WAY.

TRAFFIC SIGNS AND TRAFFIC CONTROL DEVICES PLACED ON THE MUNICIPAL STREET SYSTEM MUST CONFORM TO THE APPEARANCE CRITERIA OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. (GEN. STATUTE 136-30).

THE DECORATIVE POSTS SHOULD BE OF A SUITABLE BREAKAWAY OR YIELDING DESIGN.

A PLAN SHALL BE PREPARED AND SUBMITTED SHOWING LOCATIONS, SIGN DESIGN, LETTERING, INSTALLATION DETAILS, ETC. FOR APPROVAL BY THE ENGINEERING DEPARTMENT.

INSTALLATION OF THE DECORATIVE SIGNS (IF DESIRED) SHALL BE THE RESPONSIBILITY OF THE PETITIONER AND COORDINATED WITH THE CITY'S CONSTRUCTION INSPECTOR.

IF THE DECORATIVE POSTS SHOULD BECOME DAMAGED OR BECOME IN NEED OF REPAIR/MAINTENANCE, IT SHALL BE THE HOMEOWNER'S ASSOCIATION'S RESPONSIBILITY TO CORRECT AT THEIR COST. THE CITY RESERVES THE RIGHT TO RE-INSTALL ANY SIGN WITH A GALVANIZED POST UNTIL REPLACEMENT DECORATIVE POSTS) CAN BE INSTALLED BY THE HOMEOWNERS ASSOCIATION.

6. PROJECT SHALL FOLLOW SIGN REGULATIONS FOR RESIDENTIAL ZONING DISTRICTS.

7. ENTRY MONUMENTATION SHALL BE PERMITTED SEPARATELY.

8. FIRE HYDRANTS SHALL BE SPACED AN AVERAGE OF 500 FEET, PER TABLE C105.1 IN APPENDIX C OF THE NORTH CAROLINA STATE BUILDING CODE: FIRE PREVENTION CODE. FIRE HYDRANTS SHALL MEET NORTH CAROLINA FIRE CODE AT TIME OF CONSTRUCTION.

9. SIDEWALK AND UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH THE CITY OF MONROE'S STANDARD SPECIFICATION AND DETAILS MANUAL.

10. STREET TREES SHALL BE PROVIDED WITH A CALIPER OF 1.5 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES AND LOCATED IN ACCORDANCE WITH THE CITY OF MONROE'S STANDARD SPECIFICATION.

11. EACH HOME SHALL HAVE AT LEAST 2 TREES PLANTED WITH ONE (1) TREE PLANTED IN THE LOT AND ONE (1) TREE PLANTED IN THE PLANTING STRIP AREA ALONG THE PUBLIC STREET (INCLUDING STREET TREES). TREES SHALL BE SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED 6 INCHES ABOVE GRADE AND SHALL BE LOCATED OUTSIDE OF THE 10' SIDEWALK / UTILITY EASEMENT IN ACCORDANCE WITH THE CITY OF MONROE'S STANDARD SPECIFICATION AND DETAILS MANUAL.

12. PRESERVATION OF EXISTING TREES IN OPEN SPACE AREAS AND REQUIRED BUFFERS SHALL BE DELINEATED AND FINALIZED DURING CONSTRUCTION DOCUMENTATION.

13. DEVELOPMENT WILL COMPLY WITH PARAGRAPH 156.221 OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE. TREES THAT ARE 75' OR GREATER IN DIAMETER WILL BE EVALUATED FOR HEALTH BY A CERTIFIED ARBORIST AND THEIR EXACT LOCATION SHOWN ON CONSTRUCTION PLANS FOR PRESERVATION PURPOSES. TREES THAT FALL WITHIN REQUIRED UTILITY AND TRANSPORTATION RIGHT-OF-WAYS AND EASEMENTS MAY BE REMOVED.

14. FRONT YARDS SHALL BE SOODED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

15. ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.

16. PETITIONER SHALL PROVIDE A 25' PERIMETER BUFFER AREA AROUND THE ENTIRETY OF THE PROPOSED COMMUNITY. SHOULD EXISTING VEGETATION NOT BE PRESENT, SUPPLEMENTAL PLANTINGS SHALL BE PROVIDED. WHEREVER FEASIBLE BETWEEN PROPOSED LOTS AND THE PERIMETER PROPERTY LINE, A 5' BERM SHALL BE INSTALLED IN ADDITION TO SUPPLEMENTAL PLANTINGS. SHOULD EXISTING VEGETATION BE PRESENT, A BERM SHALL NOT BE REQUIRED AND THE EXISTING VEGETATION SHALL SATISFY PROPOSED BUFFER STANDARDS OUTLINED HEREIN. EXACT NUMBER AND LOCATION OF SUPPLEMENTAL PLANTINGS AND BERMS SHALL BE DETERMINED DURING CONSTRUCTION DOCUMENTATION. WHERE SUPPLEMENTAL PLANTINGS ARE NEEDED AS OUTLINED ABOVE, THE FOLLOWING SHALL BE PROVIDED:

THREE (3) DECIDUOUS/CANOPY TREES PER 100 LINEAR FEET, PLANTED AT LEAST 30 FEET ON CENTER, OR FIVE(5) UNDERSTORY TREES PER 100 LINEAR FEET, PLANTED 17 FEET ON CENTER.

TWENTY-FIVE (25) SHRUBS PER 100 LINEAR FEET, DISTRIBUTED EVENLY WITHIN THE BUFFER.

VI. OPEN SPACE

1. THE PETITIONER SHALL PROVIDE COMMON OPEN SPACE AREAS AS GENERALLY DEPICTED ON THE CONDITIONAL REZONING PLAN.

2. COMMON OPEN SPACE SHALL BE COMMONED AND DEEDED TO THE HOMEOWNERS ASSOCIATION FOR THE BLUE SKY MEADOWS COMMUNITY.

3. AMENITY AREA PROGRAM SHALL INCLUDE A MINIMUM OF A COMMUNITY PARK AREA, PLAYGROUND, CABANA AND COMMUNITY POOL.

VII. ENVIRONMENTAL FEATURES

1. THE PETITIONER SHALL COMPLY WITH THE CITY OF MONROE'S ADOPTED STORMWATER MANAGEMENT ORDINANCE. THE LOCATION, SIZE, AND TYPE OF STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THE CONDITIONAL REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORMWATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

2. FLOODPLAIN INFORMATION OBTAINED FROM FEMA FIRM PANEL 3710543000, EFFECTIVE DATE OF STUDY 10/16/2008.

3. STREAM WETLAND INFORMATION BASED ON PRELIMINARY INFORMATION PROVIDED TO ESP BY UNION COUNTY GIS DATA.

VIII. LIGHTING

1. PIEDISTEAL SIGN. FREESTANDING LIGHTING FIXTURES SHALL BE INSTALLED THROUGHOUT THE SITE ALONG ALL INTERNAL ROADS. LIGHTING FIXTURES SHALL BE UNIFORM IN DISCN. SPACING OF STREET LIGHTS TO BE COORDINATED WITH CITY OF MONROE ENGINEERING DEPARTMENT. CITY OF MONROE SHALL BE RESPONSIBLE FOR MONTHLY COSTS WHEN ROADWAYS ARE ACCEPTED FOR MAINTENANCE.

2. THE MAXIMUM HEIGHT FOR ANY PIEDISTEAL SIGN, FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE, INCLUDING ITS BASE, SHALL NOT EXCEED TWENTY-FIVE (25) FEET.

IX. HOUSING

1. HOME BUILDING ELEVATION MATERIALS SHALL BE COMPRISED OF CEMENT BOARD (IE: HARDIPLANK OR SIMILAR MATERIAL) AND/OR COMPOSITE FIBER CEMENT BOARD WITH SHAKE ACCENTS, THE FRONT FAÇADE OF THE HOMES, ON A PER FRONT ELEVATION BASIS, MAY BE CONCRETE OR FIBER CEMENT BOARD (IE: HARDIPLANK OR SIMILAR MATERIAL) OR ALTERNATIVES. CONTAIN A COMBINATION OF EITHER BRICK OR STONE, OR COMBINATION OF EITHER BRICK OR STONE AND EITHER HARDIPLANK OR SIMILAR MATERIAL AS THE PREDOMINANT BUILDING ELEVATION MATERIAL. SIDE AND REAR ELEVATIONS SHALL CONSIST OF CONCRETE FIBER CEMENT BOARD (IE: HARDIPLANK OR SIMILAR TYPE MATERIAL). VINYL OR METAL (ALUMINUM) BUILDING MATERIAL PRODUCTS MAY BE UTILIZED AS AN EXTERIOR BUILDING MATERIAL ON WINDOWS, CASINGS, DOORS, GARAGE DOORS, SOFFITS, TRIM AND/OR RAILINGS.

2. IN ADDITION, EACH HOME SHALL HAVE:

A MINIMUM OF 1,400 SF OF HEATED FLOOR AREA

A TWO (2) CAR GARAGE. GARAGE DOORS SHALL INCLUDE CARRIAGE STYLE HARDWARE.

A PAVED DRIVEWAY.

3. UNLESS A HOME IS CONSTRUCTED WITH A 3 CAR GARAGE, THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNINTERRUPTED) FOR A DISTANCE OF MORE THAN TWENTY FOUR (24) INCHES. EAL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH.

4. ALL FRONT ELEVATIONS ON SLAB FOUNDATIONS CONSTRUCTED IN RSV SHALL HAVE BRICK/STONE/STUCCO TO FINAL GRADE IN ORDER TO CONCEAL CONSTRUCTION JOINTS.

5. ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEREED CONSISTENT WITH THE ARCHITECTURE.

6. THE MAJORITY OF ALL ROOF AREAS ON ANY HOUSE SHALL HAVE A MINIMUM OF 62 INCH ROOF.

7. ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE AND SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.

8. ALL ELEVATIONS, PACKAGES, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO PLAN, PLANNING BOARD, AND OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.

9. ALL ACCESSORY BUILDINGS AND USES SHALL COMPLY WITH RIGHT-OF-WAY AND SIDE LOT BOUNDARY SETBACKS SET FORTH IN THIS CONDITIONAL REZONING.

ACCESSORY BUILDINGS AND USES SHALL BE LOCATED IN A SIDE OR REAR YARD AREA.

ACCESSORY BUILDINGS AND USES SHALL BE SET BACK FROM REAR LOT BOUNDARY LINES AN ADDITIONAL TWO (2) FEET FOR EVERY FOOT OF HEIGHT EXCEEDING TWENTY (20) FEET.

X. PHASING

1. THE SITE WILL BE CONSTRUCTED IN A SERIES OF PHASES WHICH MAY INVOLVE UP TO 3 OR 4 PHASE COMPLETIONS. THE PHASING AND CONSTRUCTION SCHEDULE MAY BE MODIFIED AND SHALL BE DETERMINED BY THE DEVELOPER AS NECESSARY DURING THE DEVELOPMENT OF THE PROPOSED RESIDENTIAL COMMUNITY.

XI. AMENDMENTS TO REZONING PLAN

1. FUTURE AMENDMENTS TO THE CONDITIONAL REZONING PLAN, THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF A PARTICULAR TRACT WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS IN THE ORDINANCE.

2

2 OF 5

3 OF 5

N.T.S.

BLUE SKY MEADOWS REZONING - SHEET INDEX

PAVEMENT SCHEDULE

1 IN. BIT. CONC. SURFACE COURSE, TYPE SP 35A

2 IN. BIT. CONC. BASE COURSE, TYPE 1 (25B)

4 IN. BIT. CONC. BASE COURSE, TYPE 1 (25B)

2 IN. BIT. CONC. BASE COURSE, TYPE 1 (25B)

2 IN. BIT. CONC. BASE COURSE, TYPE 1 (25B)

4 IN. CONCRETE SIDEWALKS, 5 FT. WIDTH

NOTES

1. UTILITY LOCATIONS SHOWN OTHER THAN INDICATED ARE TO BE MAINTAINED AS SHOWN. DEPTHS SHOWN ARE MINIMUM DEPTHS.

2. STREET LIGHTS WILL BE ON ONE SIDE OF ROAD DEPENDING ON SUBDIVISION LAYOUT.

17" SIDEWALK / UTILITY EASEMENT

17" SIDEWALK / UTILITY EASEMENT

STORM SEWER DEPTH VARIES - 2' MIN

WATER TAP

SEWER TAP

SANITARY SEWER SEE UTILITY PLANS FOR DEPTH

PHONE

CABLE

STREET TREE OR LIGHT POLE

ROOT PROTECTION

RELINER MAT

WATER METER

ELECTRIC

NO. DATE DESCRIPTION

1 02/04/19 WASH. STATE

2 02/04/19 WASH. STATE

3 02/04/19 WASH. STATE

RESIDENTIAL STREET WITH STREET TREES FOR 50' R/W (1 of 2)

CITY OF MONROE

UNION COUNTY

ENGINEERING DEPARTMENT

FILE: U:\Map-Detail\Detail Manual\Details

DRAWN BY: JAM

CHECKED BY: JNL

SCALE: N.T.S.

DATE: 08-07-01

DETAIL 02.01.03A

NOTE:

4 INCH FRENCH DRAIN REQUIRED 2 FEET MIN. BEHIND CURBLINE FOR FULL CIRCUMFERENCE AT ALL PLANTED ISLANDS. TIE TO CLOSEST DRAINAGE STRUCTURE OR DITCH LINE WITH SOLID 4 INCH PIPE OR AS DIRECTED BY ENGINEER.

WITH OPTIONAL PLANTED ISLAND

OPTIONAL PLANTED ISLAND

BACK OF 2' VALLEY CURB

FACE OF 2' VALLEY CURB

WITHOUT PLANTED ISLAND

BACK OF 2' VALLEY CURB

REVISIONS

1 05/08/19 ADD SLOPES

CITY OF MONROE

UNION COUNTY

ENGINEERING DEPARTMENT

FILE: U:\Map-Detail\Detail Manual\Details

DRAWN BY: JAM

CHECKED BY: JNL

SCALE: N.T.S.

DATE: 08-07-01

DETAIL 02.01.08

TYPICAL LOT DETAIL

N.T.S.

50' PUBLIC R/W

120' Min.

5'

5'

20'

20'

PROPOSED BLDG. SETBACK LINE

PROPOSED LOT LINE

PROPOSED R/W LINE

ESP

ESP ASSOCIATES, INC.

P.O. Box 2020

Charlotte, NC 28241

3475 Lakewood Blvd.

Fort Mill, SC 29708

704-583-1946 (NC)

803-582-2410 (SC)

www.esassociates.com

PRELIMINARY

NOT FOR CONSTRUCTION

BY

SH

SH

SW

DATE

REVISION

NO.

1

07/21/2019

REVISED PER STAFF COMMENTS

2

08/14/2019

REVISED PER STAFF COMMENTS

3

08/15/2019

REVISED PER PLANNING BOARD & STAFF COMMENTS

CONDITIONAL REZONING - SITE PLAN (2 OF 5)

BLUE SKY MEADOWS

PACE DEVELOPMENT GROUP

CITY OF MONROE, NC

PROJECT INFORMATION

PROJECT MANAGER: AB

DESIGNED BY: AB

DRAWN BY: SH

PROJECT NUMBER: GS69.100

ORIGINAL DATE: 06/26/2019

SHEET: 2 OF 5

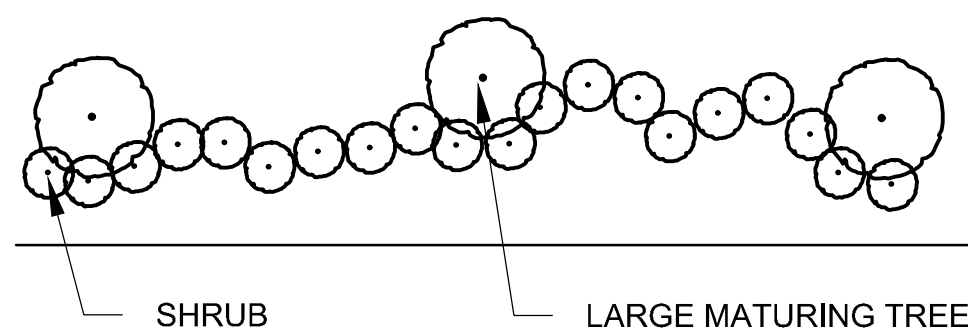
NO.	DATE	REVISION	BY
1	07/31/2019	REVISED PER STAFF COMMENTS	SH
2	08/14/2019	REVISED PER STAFF COMMENTS	SH
3	08/05/2019	REVISED PER PLANNING BOARD & STAFF COMMENTS	SW

PROJECT INFORMATION			
PROJECT MANAGER:		AB	
DESIGNED BY:		AB	
DRAWN BY:		SH	
PROJECT NUMBER:		GS69.16	
ORIGINAL DATE:		06/26/20	
SHEET:			
3 OF 5			



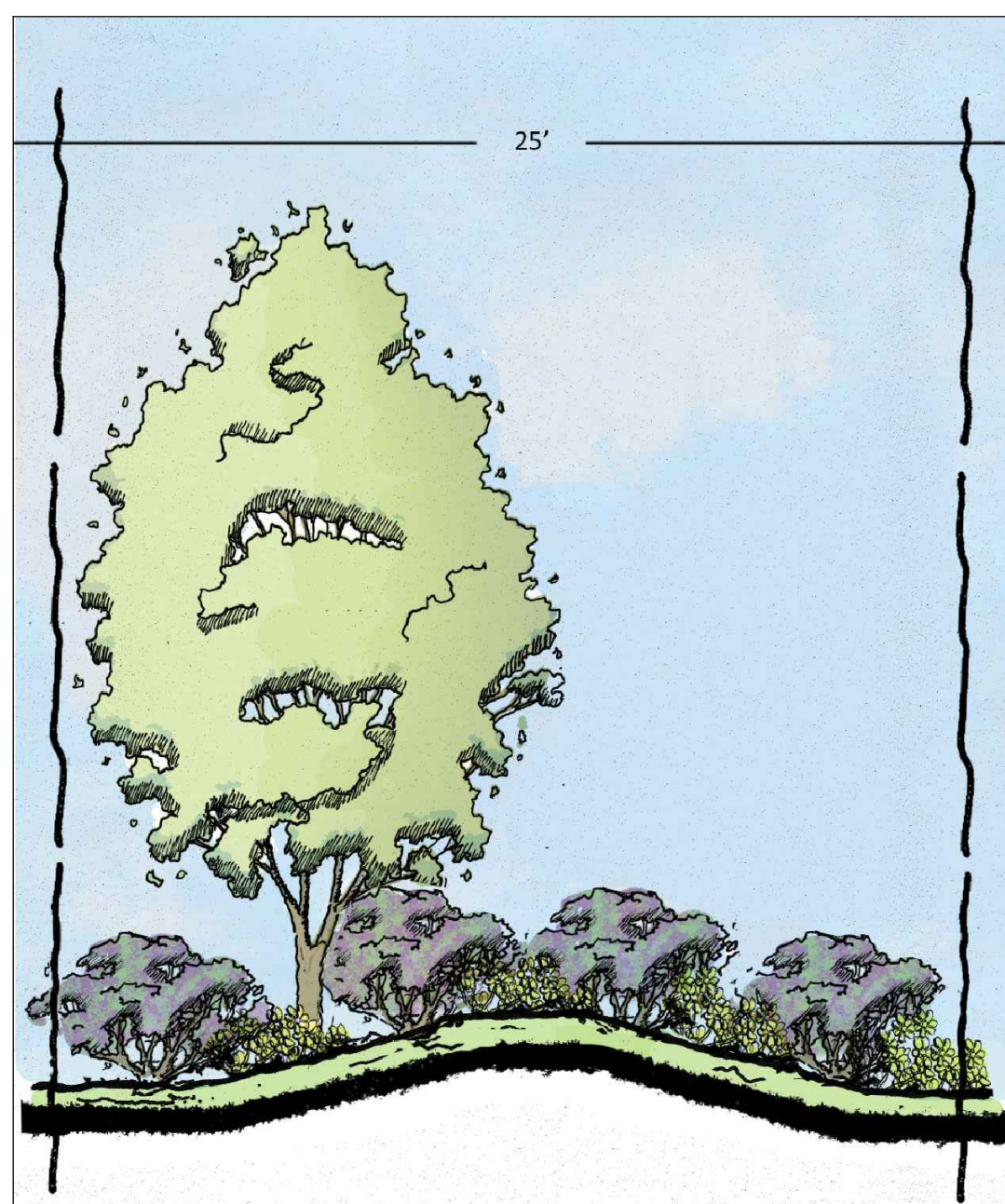
TYPICAL STREETSCAPE BUFFER DETAIL ALONG CONCORD AVENUE

STREETSCAPE BUFFER: 8' MINIMUM REQUIRED, 50' SHOWN



STREETSCAPE BUFFER PLANTING REQUIREMENTS:
-3 TREES (PER 100 LF)
-20 SHRUBS (PER 100 LF)

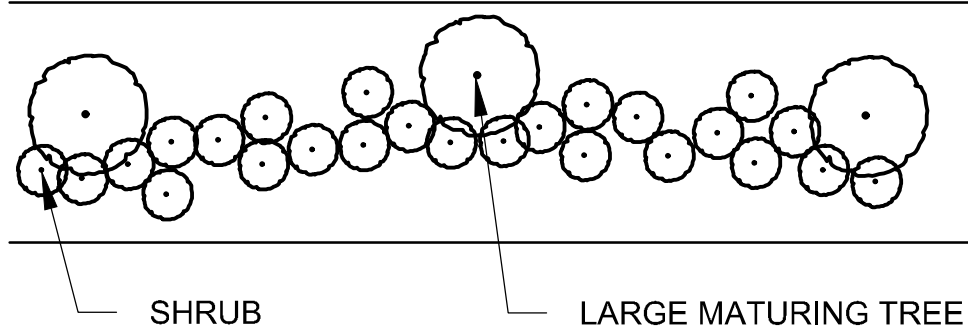
TYPICAL 25' PERIMETER BUFFER WITH BERM SECTION *
N/TSC



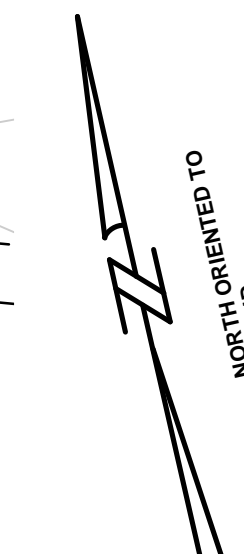
*SEE SHEET 1 OF 5 NOTE V.16 IN DEVELOPMENT STANDARDS FOR MORE DETAIL

TYPICAL 25' PERIMETER BUFFER WITH BERM DETAIL

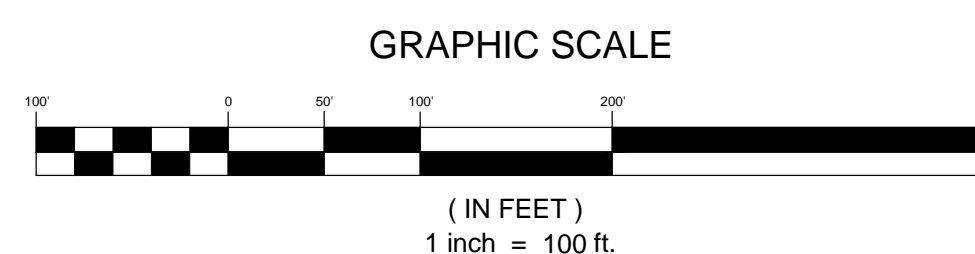
PERIMETER BUFFER: 25' SHOWN

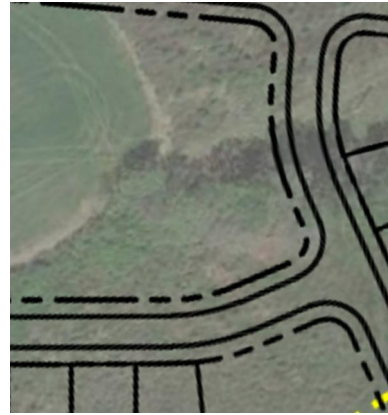


PERIMETER BUFFER PLANTING REQUIREMENTS:
 -3 DECIDUOUS/CANOPY TREES OR 5 UNDERSTORY TREES (PER 100 LF)
 -25 SHRUBS (PER 100 LF)



**Know what's below.
Call before you dig.**





EXISTING TREE CANOPY



CANOPY TO REMAIN

NOTE: TREE ZONES ILLUSTRATED ON THIS EXHIBIT MAY BE ADJUSTED TO ACCOMMODATE TRANSITIONAL GRADING AND UTILITY EASEMENTS AS NEEDED DURING THE FINAL CD DESIGN AND SITE CONSTRUCTION PHASE.



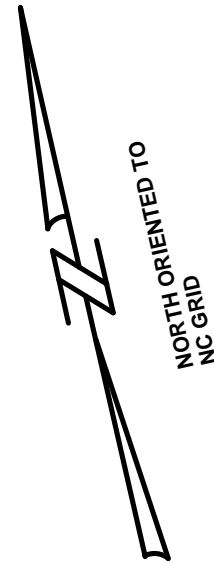
PROPOSED 25' PERIMETER BUFFER (TYP.). SEE SHEET 1 OF 5 NOTE V.16 IN DEVELOPMENT STANDARDS FOR MORE DETAIL.

TREE CANOPY TO REMAIN (TYP.) (SEE NOTE THIS SHEET)

TREE CANOPY TO REMAIN (TYP.) (SEE NOTE THIS SHEET)

TREE CANOPY TO REMAIN (TYP.) (SEE NOTE THIS SHEET)

EX. STREAM CENTER LINE (TYP.)
50' IMPERVIOUS SURFACE SETBACK
EX. 100 YEAR FLOODPLAIN (TYP.)



NTS



CONDITIONAL REZONING -
TREE PLAN (4 OF 5)

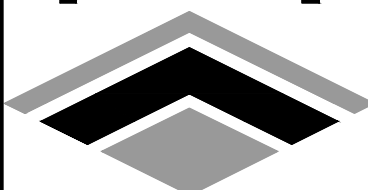
BLUE SKY MEADOWS

PACE DEVELOPMENT GROUP CITY OF MONROE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	AB
DESIGNED BY:	AB
DRAWN BY:	SH
PROJECT NUMBER:	GS69.100
ORIGINAL DATE:	06/26/2019
SHEET:	4 OF 5

NO.	DATE	REVISION	BY
1	07/21/2019	REVISED PER STAFF COMMENTS	SH
2	08/14/2019	REVISED PER STAFF COMMENTS	SH
3	08/25/2019	REVISED PER PLANNING BOARD & STAFF COMMENTS	SW

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ESP Associates, Inc.
P.O. Box 7030
Charlotte, NC 28241
3475 Lakemont Blvd.
Fort Mill, SC 29708
704-583-1949 (NC)
803-802-2440 (SC)
www.espassociates.com