

09264023
SEVEN HILLS ESTATES LLC
CD

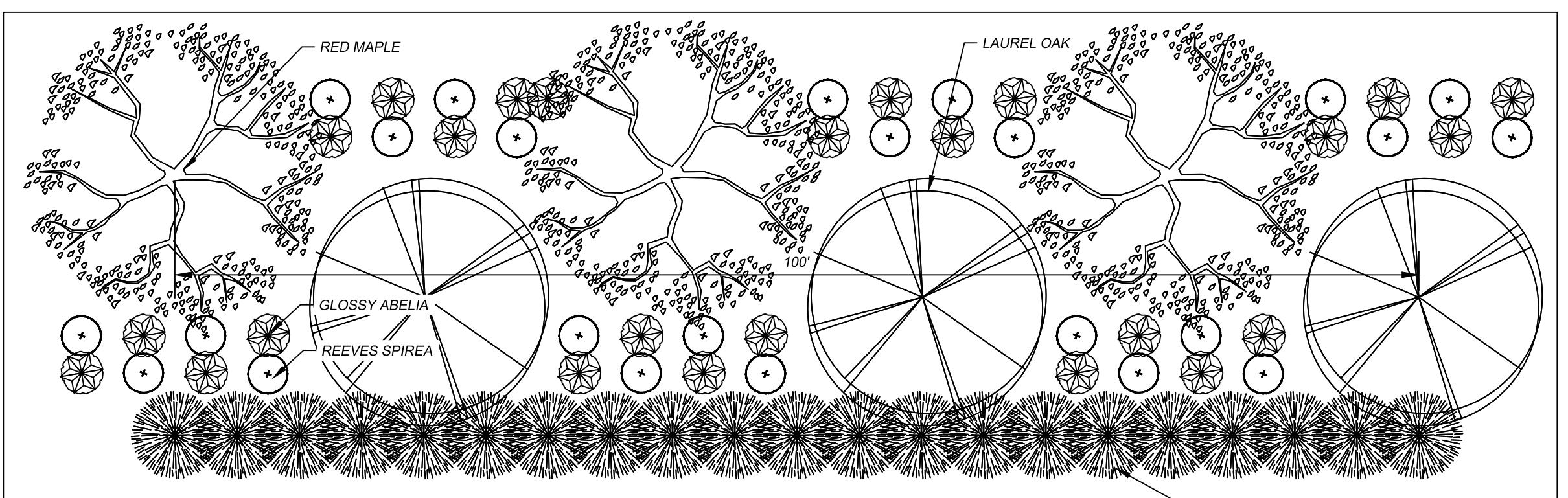
09265001
HELMS MARY FRANCES HEIRS
R-MF

09264023A
BANK OF NORTH CAROLINA
CD

09265046
N & W SMITH PROPERTIES FAMILY
GB

DICKERSON BLVD.

VICINITY MAP
(NTS)



TYPICAL 50' BUFFER (NTS)

SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF MONROE
TAX PARCEL(S):	09264023B
DEED BOOK AND PAGE:	6498, PG 025
SITE ADDRESS:	N. CHARLOTTE AVE
ZONING	CONDITIONAL DISTRICT
PROPOSED ZONING	CONDITIONAL DISTRICT "BRAEMAR VILLAGE"
TOTAL AREA	± 12.9 ACRES
LOTS	21' LOTS
TOTAL LOTS	90 LOTS
DENSITY	6.98 UNITS/ACRE
AREA IN LOTS	4.81 ACRES
OPEN SPACE AREA PROVIDED	5.12 ACRES (40% OPEN SPACE)
SETBACKS IN CONDITIONAL DISTRICT	
MINIMUM FRONT SETBACK	20'
MINIMUM CORNER/SIDE SETBACK	5'
MINIMUM REAR SETBACK	10'
MINIMUM LOT SIZE	1,800 SQ. FT.
MINIMUM LOT WIDTH	21'

EAGLE ENGINEERING
2013a Van Buren Avenue
Indian Trail, NC 28079
(704) 882-4222
www.eagleonline.net

PRELIMINARY
NOT FOR
CONSTRUCTION

NO. DATE BY ISSUE
1 4/14/2021 BLD REVISED PER CITY COUNCIL COMMENTS

BRAEMAR VILLAGE
MONROE, NC
CAROLINA DEVELOPMENT SERVICES, LLC
2627 BRECKONRIDGE CENTRE DR
MONROE, NC 28110

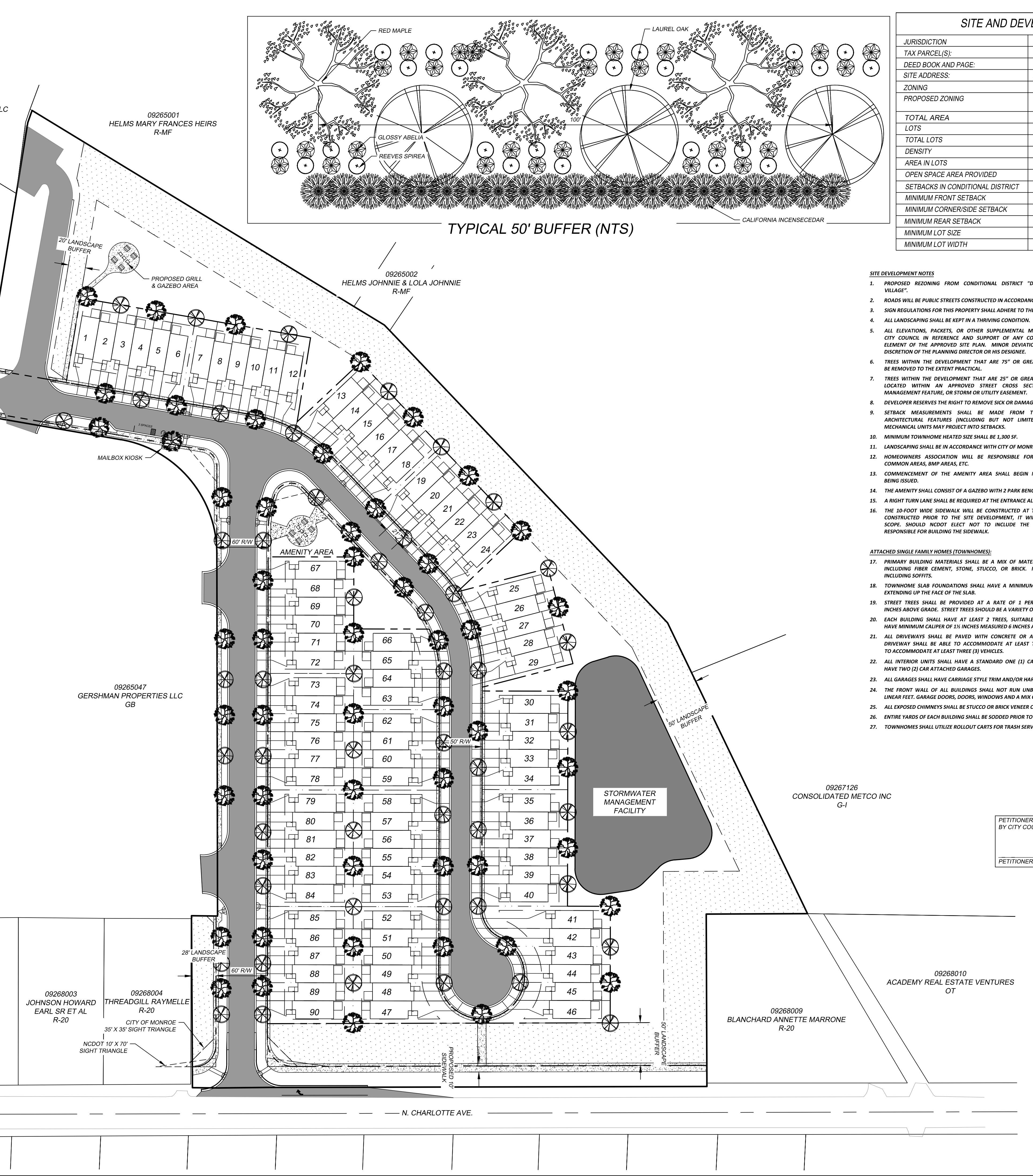
REZONING SITE PLAN
CONDITIONAL DISTRICT "BRAEMAR VILLAGE"

DESIGNED BY BLD DRAWN BY BLD CHECKED BY MCK
AS SHOWN DATE 01/22/2021 JOB NUMBER 7208
Scale

RZP - 1

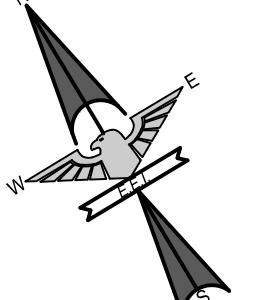
PLANT SCHEDULE		
COMMON NAME	BOTANICAL NAME	HT
TREES (CANOPY)		
RED MAPLE	ACER RUBRUM	40'-60'
LAUREL OAK	QUERCUS LAURIFILIA	40'-60'
TREES (EVERGREEN)		
CALIFORNIA INCENSECEDAR	CALOCEDRUS DECURRENS	40'-50'
SHRUBS		
GLOSSY ABELIA	ABELIA x GRANDIFLORA 'KALEIDOSCOPE'	24" MIN
REEVES SPIREA	SPIRAEA CANTONIENSIS	12"
BOXWOOD	BUXUS x 'GREEN MOUNTAIN'	24" MIN

GENERAL PROVISIONS:
1. DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THIS CONDITIONAL ZONING PLAN, DEVELOPMENT STANDARDS, AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE (UDO).
2. THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, AND OTHER SITE ELEMENTS SET FORTH ON THE ZONING SITE PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT AND SITE ELEMENTS PROPOSED AND MAY BE ALTERED SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR.
3. EAGLE ENGINEERING IS NOT A LICENSED ARCHITECTURAL LANDSCAPE FIRM. ALL FINAL PLANT AND TREE SELECTION SHALL BE COORDINATED WITH THE DEVELOPER AND THE CITY OF MONROE PRIOR TO INSTALLATION. FINAL SELECTION OF SPECIES IS SUBJECT CITY OF MONROE APPROVAL AND ANY SPECIAL INSTALLATION REQUIRED SHALL BE BY OTHERS.
4. ZONING IS TO BE CHANGED FROM CD TO CONDITIONAL DISTRICT "BRAEMAR VILLAGE".



PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE _____ DATE _____



GRAPHIC SCALE
0 60' 120'
(IN FEET)
1 inch = 60' ft.

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