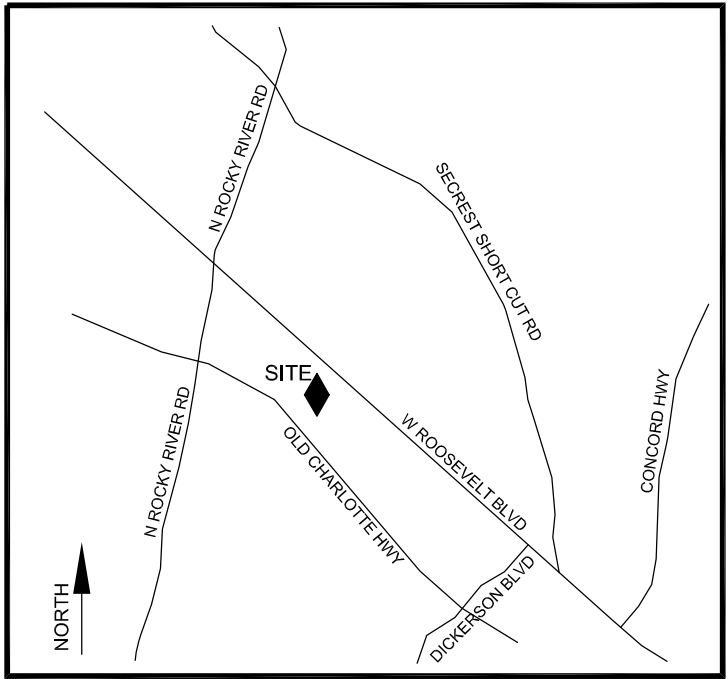


By City Council 10/2/18

DOGWOOD FOREST / 16049



VICINITY MAP - NTS

GENERAL NOTES

1. EXISTING SITE DATA

TAX PARCEL NO.: 09-298-119A
TOTAL SITE AREA: 7.525. AC.
EXISTING ZONING: MONROE - R-20
PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA.

THERE ARE NO WETLANDS AND NO KNOWN ENDANGERED SPECIES EXISTING ON THE SITE

2. DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS:	21
MINIMUM LOT SIZE:	8,000 S.F.
MINIMUM LOT WIDTH:	60 FT. (MEASURED AT ESTABLISHED SETBACK)
MINIMUM SETBACK:	20 FT. (FRONT)
MINIMUM SIDE YARD:	5 FT.
MINIMUM CORNER	
SIDE SETBACK:	10 FT.
MINIMUM REAR YARD:	25 FT.

TOTAL COMMON AREA = ±2.01 AC. (26.7%)

ACCESSORY STRUCTURES IN REAR YARD SHALL BE MIN. 5' FROM REAR PROPERTY LINE.

PERMITTED USES: SINGLE FAMILY DETACHED DWELLINGS AND RELATED ACCESSORY USES AS ARE PERMITTED IN OTHER SINGLE FAMILY ZONING DISTRICTS IN MONROE.

OVERALL DENSITY = 2.79 DU/AC

3. DEVELOPMENT COMMITMENTS & NOTES:

STRUCTURES:

1. HOMES SHALL HAVE A MINIMUM HEATED AREA OF 1,800 S.F.
2. ALL HOMES SHALL HAVE A MINIMUM OF TWO CAR GARAGE + 2 SPACES IN DRIVEWAY.
3. ARCHITECTURAL MATERIALS, BUILDING STYLE, MASSING AND COLORS SHALL BE IN CONFORMANCE WITH ARCHITECTURAL ELEVATIONS AND NOTES ON ACCOMPANYING SHEET R2-2. ELEVATIONS ARE REPRESENTATIVE OF STYLE AND EXTERIOR MATERIALS, AND ARE NOT THE EXACT FINAL DESIGN OF EACH HOME.
4. (RESERVED)

SITE DEVELOPMENT:

5. PUBLIC STREETS, UTILITIES, AND SIGNAGE SHALL BE BUILT IN CONFORMANCE WITH ADOPTED CITY OF MONROE STANDARDS.
6. SITE SHALL BE SERVED BY PUBLIC DOMESTIC WATER AND SEWER.
7. ALL DRIVES SHALL BE PAVED WITH CONCRETE.
8. PETITIONER SHALL CREATE A HOMEOWNERS ASSOCIATION WITH COVENANTS REQUIRING MAINTENANCE OF COMMON AREAS AND MAINTENANCE OF AN ATTRACTIVE LANDSCAPE FOR RESIDENCES. DRAFT H.O.A. DOCUMENTS TO BE PROVIDED TO MONROE PLANNING STAFF FOR REVIEW BEFORE RECORDING, AND BEFORE ISSUANCE OF AN OCCUPANCY PERMIT.
9. H.O.A. SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF STORMWATER MEASURES.

LANDSCAPING:

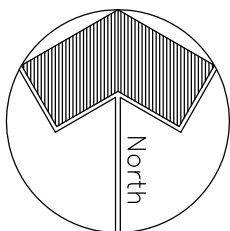
10. LARGE MATURING, NATIVE STREET TREE SHALL BE PLANTED AT AN AVERAGE OF 40' ON CENTER ALONG STREET FRONTAGE. TREES TO BE 22" TO 30" BEHIND BACK OF CURB AND SHALL BE 2 1/2" CAL. AT PLANTING. IF UNDER UTILITY LINES, USE 1 1/2" CAL. SMALL MATURING TREES PLANT AT AVERAGE 35' ON CENTER. TREES SHALL BE PLANTED IN THE SAME VEGETATION ZONE AND WORTHINGTON SPECIES. TREES SHALL BE PLANTED IN OPTIMUM PLANTING SEASON. EACH LOT WILL HAVE AT LEAST ONE TREE MEETING ABOVE SPECIFICATIONS.
11. A PLANTED BUFFER (AND PERHAPS A BERM WHERE DRAINAGE ALLOWS) SHALL BE ADDED WHERE SHOWN ON PLAN AT REAR OF LOTS 15-21, AND BESIDE LOT #2. BUFFER SHALL BE PLANTED WITH EVERGREEN TREES AND SHRUBS WHICH SHALL ACHIEVE A SUBSTANTIALLY SOLID, OPAQUE SCREEN AT AT LEAST 1 YEAR, WITHIN 3 YEARS OF PLANTING. PLANTING HEIGHT AND PLANTING SHALL BE NOT LESS THAN 3 FEET. MINIMUM SIGHT DISTANCE AT HICKORY GROVE/JOHN MOORE INTERSECTION. SCREENING BETWEEN WATER QUALITY BASINS SHALL MEET ABOVE SPECIFICATIONS.
12. ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.

GENERAL & STORMWATER:

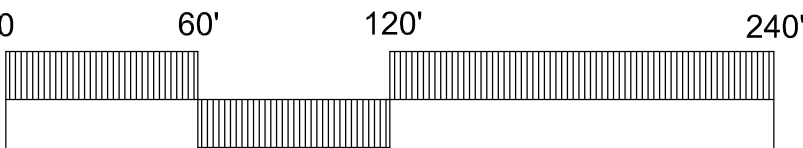
13. STORMWATER WILL BE DETAINED AND TREATED IN BASINS GENERALLY WHERE DETAINED ON THE SITE PLAN. WATER QUALITY AND VOLUME WILL BE DEALT WITH AS SPECIFIED IN THE TOWN OF MONROE ORDINANCES. IN PARTICULAR, WATER LEAVING THIS SITE SHALL BE DETAINED SO THAT THE PEAK FLOW FOR THE 5 YEAR, 10 YEAR, 25 YEAR AND 50 YEAR STORMS WILL NOT EXCEED THE VOLUME LEAVING THE SITE IN THE PREDEVELOPMENT CONDITION.
14. DETENTION/WATER QUALITY BASINS WILL BE SAND FILTERS. AREAS WILL BE SCREENED WITH EVERGREEN PLANTS.
15. THE PETITIONER KNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, SUCH AS THOSE THAT REGULATE STREETS, SIDEWALKS, UTILITIES, AND SITE DEVELOPMENT, MAY APPLY TO THE DEVELOPMENT OF THIS SITE. THESE ARE NOT ZONING CONDITIONS IMPOSED BY THIS SITE PLAN, UNLESS SPECIFICALLY NOTED IN THE CONDITIONS FOR THIS SITE PLAN. THESE OTHER STANDARD DEVELOPMENT REQUIREMENTS WILL BE APPLIED TO THIS DEVELOPMENT ON THIS SITE AS DO THOSE BY THOSE OTHER CITY ORDINANCES.
16. THROUGHOUT THIS REZONING PETITION, THE TERMS OWNER, "OWNERS," "PETITIONER" OR "PETITIONERS," SHALL, WITH RESPECT TO THE SITE, BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNEES OF THE OWNER OR OWNERS OF THE SITE WHO MAY BE INVOLVED IN ITS DEVELOPMENT FROM NOW ON TO TIME.
17. LOT AREAS SHOWN ON THIS PLAN ARE SUBJECT TO MODIFICATION DURING THE FINAL DESIGN PHASE, BUT WILL NOT BE LESS THAN 8,000 S.F.
18. ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING, BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL USE SHALL BE CONSIDERED AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FORM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.

Sheet Number

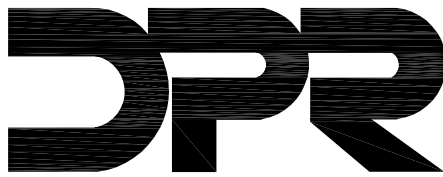
RZ-1



Scale:
1" = 60'



Project Manager
LRM
Drawn By
DL/TK
Checked By
LRM
Date
08/23/2018
Project Number
16049



landscape architecture
civil engineering
planning

DPR Associates, Inc. ■ 420 Hawthorne Lane ■ Charlotte, NC 28204
phone 704.332.1204 ■ fax 704.332.1210 ■ www.dprassociates.net

CONDITIONAL DISTRICT SITE PLAN FOR DOGWOOD FOREST

MONROE, NORTH CAROLINA

PROPERTY OF:

SCOTT A. MERRITT AND WIFE, AMY P. MERRITT