

VICINITY MAP
NTS

SITE DEVELOPMENT NOTES

1. PROPOSED REZONING FROM R-40 TO CONDITIONAL DISTRICT "SECREST LANDING".
2. ROADS WILL BE PUBLIC STREETS CONSTRUCTED IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
3. SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
4. ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
5. ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL, IN REFERENCE AND SUPPORT OF ANY APPROVALS, SHALL BE CONSIDERED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
6. TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE WILL BE PRESERVED AND WILL NOT BE REMOVED TO THE EXTENT PRACTICAL.
7. TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORM WATER MANAGEMENT FEATURE, OR STORM OR UTILITY EASEMENT.
8. DEVELOPER RESERVES THE RIGHT TO REMOVE SICK OR DAMAGED TREES AT DEVELOPMENT.
9. STOOP MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR WALL DIMENSION AT THE FOUNDATION. ARCHITECTURAL FEATURES (INCLUDING BUT NOT LIMITED TO OVERHANGS, STOOPS, EAVES, AND SOFFITS) AND MECHANICAL UNITS MAY PROJECT INTO SETBACKS.
10. ACCESSORY STRUCTURES SHALL NOT BE LOCATED BEYOND THE FRONT CORNER OF THE HOME, AND SHALL MAINTAIN A MINIMUM FIVE FOOT (5') SETBACK FROM ALL PROPERTY LINES. ACCESSORY STRUCTURES SHALL NOT BE LOCATED WITHIN PUBLIC EASEMENTS.
11. LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
12. HOMEOWNERS ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.

ATTACHED SINGLE FAMILY HOMES (TOWNHOMES):

13. A MIX OF MATERIALS, AS SHOWN ON THE SUBMITTED BUILDING ELEVATIONS, INCLUDING FIBER CEMENT, STONE, STUCCO, OR BRICK. IN ALL CASES, VINYL MAY BE USED FOR TRIM WORK ONLY, INCLUDING SOFFITS.
14. MINIMUM HOUSE SIZE SHALL BE 1,300 SF.
15. STREET TREES SHALL BE PROVIDED AT A RATE OF 3 PER BUILDING WITH A CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
16. EACH DRIVEWAY SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
17. ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
18. ALL INTERIOR UNITS SHALL HAVE A STANDARD ONE CAR ATTACHED GARAGE (MINIMUM) AND END UNITS SHALL HAVE A STANDARD TWO CAR ATTACHED GARAGE.
19. THE FRONT WALL OF ALL BUILDINGS SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. GARAGE DOORS, WINDOWS AND A MIX OF MATERIALS SHALL CONSTITUTE ARTICULATION.
20. ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEER CONSISTENT WITH THE ARCHITECTURE.
21. FRONT LAWNS OF EACH BUILDING SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
22. ALL FRONT LOAD GARAGES SHALL HAVE CARRIAGE STYLE TRIM AND/OR HARDWARE THAT MIMICS CARRIAGE STYLE DOORS.

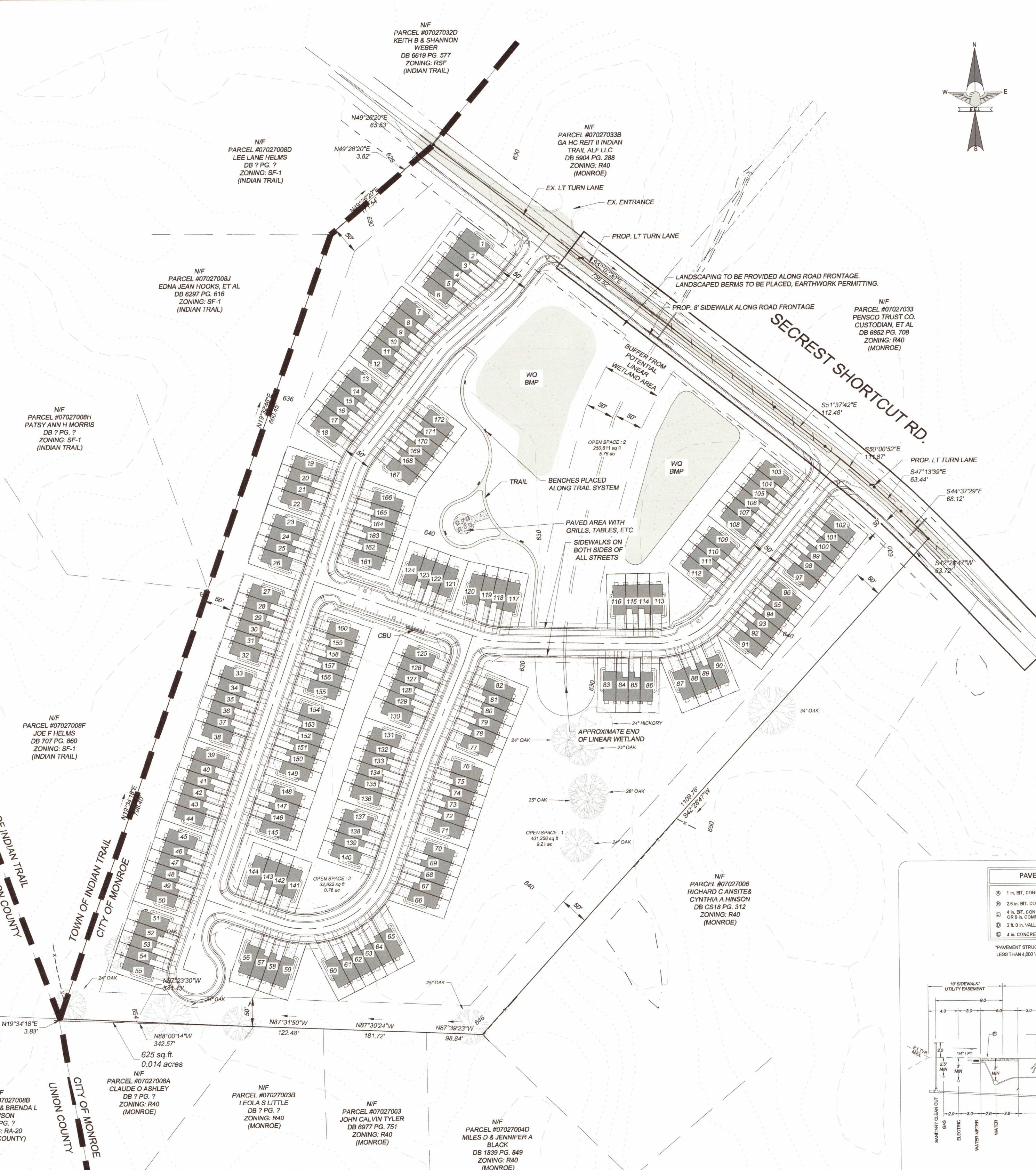
PARCEL #07027008B
ANDREW JR & BRENDA L
BRUNSON
DB 7 PG. 7
ZONING: R-40
(UNION COUNTY)

PARCEL #07027008A
CLAUDE & ASHLEY
DB 7 PG. 7
ZONING: R-40
(MONROE)

PARCEL #070270038
LEOLA S LITTLE
DB 6977 PG. 751
ZONING: R-40
(MONROE)

PARCEL #070270033
JOHN CALVIN TYLER
DB 6977 PG. 751
ZONING: R-40
(MONROE)

PARCEL #070270040
MILES D & JENNIFER A
DB 1839 PG. 849
ZONING: R-40
(MONROE)



SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF MONROE
TAX PARCEL(S)	07027007, & 07027007A
SITE ADDRESS	5303 SECREST SHORTCUT ROAD
ZONING	R-40
PROPOSED ZONING	CONDITIONAL DISTRICT "SECREST LANDING"
USE CLASSIFICATION	SINGLE FAMILY RESIDENTIAL
TOTAL AREA	30.48 ACRES
TOTAL UNITS PROPOSED	172
PROPOSED PROJECT DENSITY	5.64 UNITS PER ACRE
AREA IN LOTS	10.05 AC
COMMON AREA	15.73 AC.
RIGHT-OF-WAY	3.8AC. (CITY OF MONROE)
RIGHT-OF-WAY	0.9 AC.± (NCDOT)
MINIMUM FRONT SETBACK	20'
MINIMUM SIDE SETBACK (TOWNHOME END UNITS) 10	
MINIMUM REAR SETBACK	15'
MINIMUM LOT SIZE	2,050 SQ. FT. (SF)
MINIMUM LOT WIDTH	21'

GRAPHIC SCALE
0 100' 200'
(IN FEET)
1 inch = 100 ft.

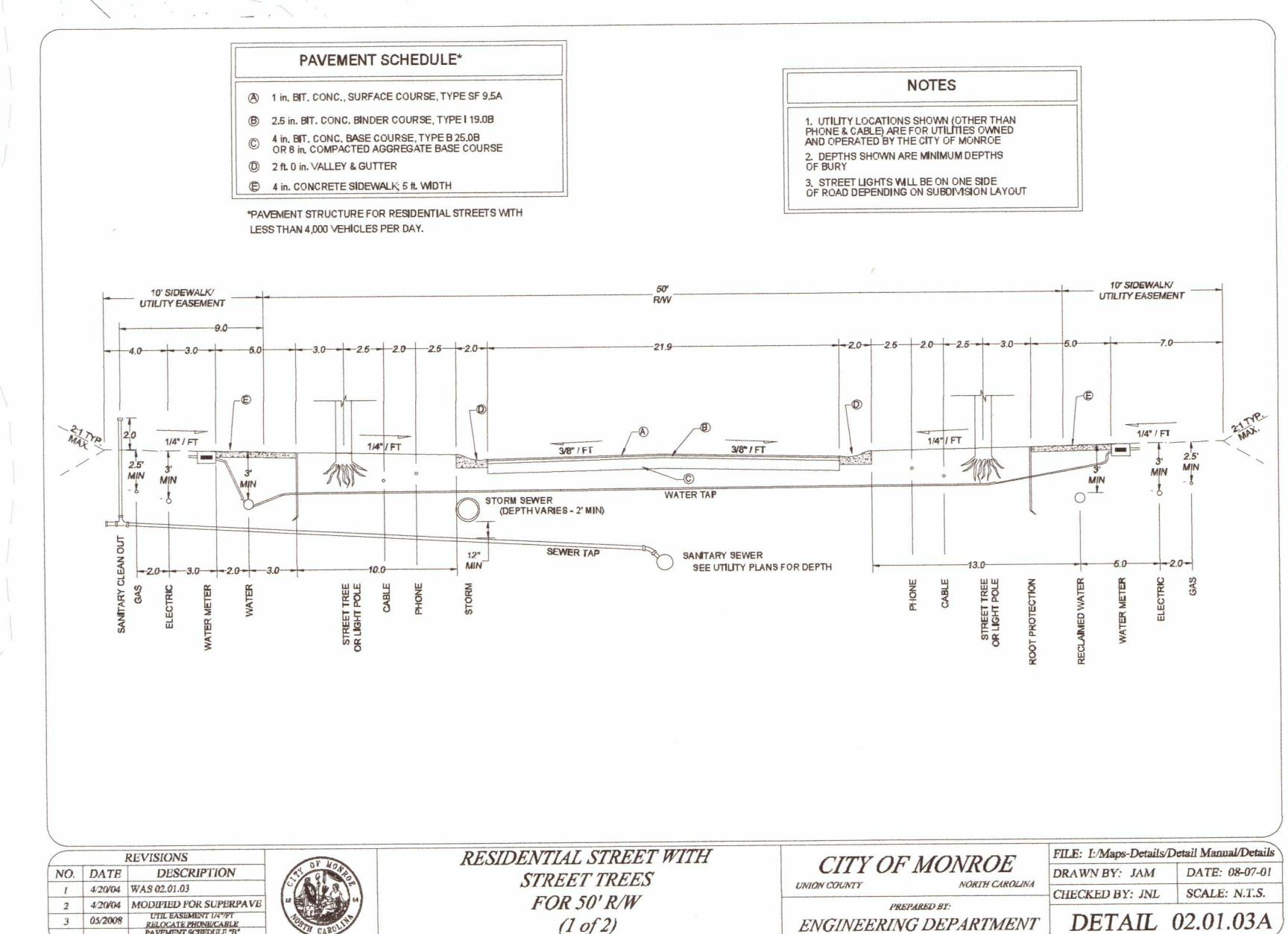
PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.
[Signature] *6/3/20*
PETITIONER SIGNATURE DATE
On behalf of
M/I Homes of
Charlotte, LLC

NO.	DATE	BY	ISSUE
1.	11/20/19	JLR	ADDRESS CITY PLANNING STAFF REVIEW COMMENTS
2.	02/08/19	JLR	ADDRESS CITY PLANNING STAFF REVIEW COMMENTS
3.	06/4/20	BLD	REVISED PER PLANNING BOARD

SECREST LANDING	MI HOMES	MONROE, NC
5350 77 CENTER DR., SUITE 100		CHARLOTTE, NC 28217

CONDITIONAL DISTRICT "SECREST LANDING"		
DESIGNED BY: KEL	DRAWN BY: KEL	CHECKED BY: JLR
AS SHOWN	DATE: 5/18/20	JOB NUMBER: 6870

PRELIMINARY NOT FOR CONSTRUCTION
Sheet
RZ-1



APPROVED
By City Council 6-2-20