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501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601

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PLAYGROUND PRECEDENT IMAGE

LEGEND

TOPOGRAPHIC LINE

ADJOINING PROPERTY LINE

LOT LINE

RIGHT-OF-WAY

SETBACK

CURB AND GUTTER

SIDEWALK

OPEN SPACE

TOPOGRAPHIC LINE

ADJOINING PROPERTY LINE

LOT LINE

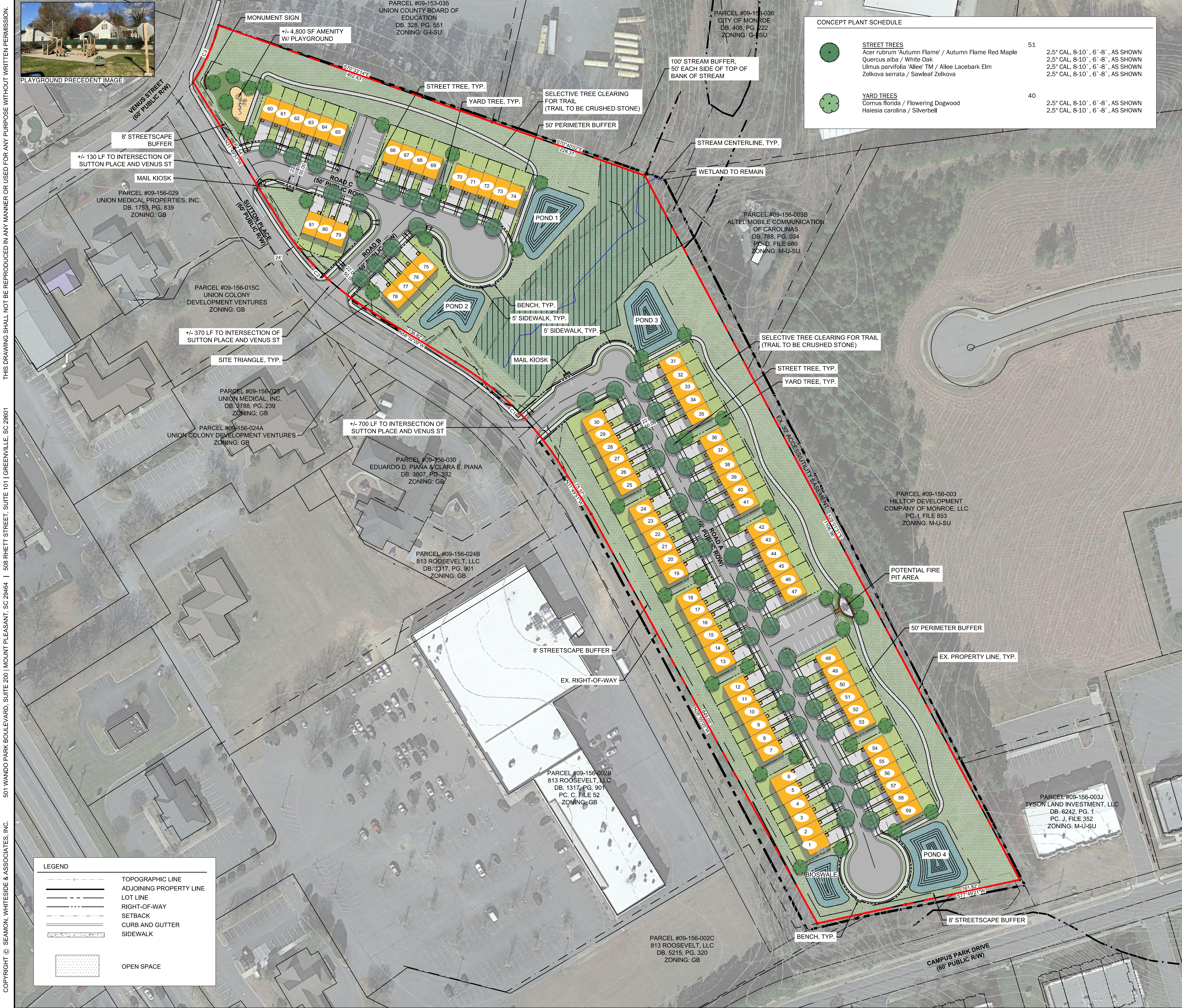
RIGHT-OF-WAY

SETBACK

CURB AND GUTTER

SIDEWALK

OPEN SPACE



CONCEPT PLANT SCHEDULE			
	STREET TREES	Acer rubrum 'Autumn Flame' / Autumn Flame Red Maple Quercus alba / White Oak Ulmus parvifolia 'Allee' TM / Allee Lacebark Elm Zelkova serrata / Sawleaf Zelkova	51
			2.5" CAL, 8-10', 6'-8", AS SHOWN
			2.5" CAL, 8-10', 6'-8", AS SHOWN
			2.5" CAL, 8-10', 6'-8", AS SHOWN
	YARD TREES	Cornus florida / Flowering Dogwood Halesia carolina / Silverbell	40
			2.5" CAL, 8-10', 6'-8", AS SHOWN

SUTTON PLACE TOWNHOMES ZONED RESIDENTIAL MULTI-FAMILY (R-MF)		
LOT, YARD AND COVERAGE REQUIREMENTS		
MINIMUM LOT REQUIREMENTS		
LOT WIDTH (FT.)	20	FT
SETBACK REQUIREMENTS		
FRONT YARD	10	FT
SIDE YARD	5	FT
INTERIOR TOWNHOME SIDE YARD	0	FT
REAR YARD	20	FT
MAXIMUM HEIGHT		
VERTICAL MEASURE (FT.)	45	FT
ACCESSORY STRUCTURES		
SIDE YARD	3	FT
REAR YARD	5	FT

SUTTON PLACE TOWNHOMES SITE DATA SUMMARY	
TOTAL LAND AREA	+/- 10.02 AC
NUMBER OF UNITS	81
DENSITY	8.08 UNITS/ACRE
PARKING REQUIRED	283.5 (3.5 SPACES/UNIT)
PARKING PROVIDED	214 (2.64 SPACES/UNIT)
STREET SECTION	50' PUBLIC ROW
TOTAL OPEN SPACE REQUIRED	50% = 5.01 AC.
TOTAL OPEN SPACE PROVIDED	48% = 4.76 AC.

TYPICAL LOT INFORMATION
ALL UNITS WILL HAVE 3 BEDROOMS.
TYPICAL INTERIOR UNIT LOT SIZE= 20' X 77' = 1,540 SF
TYPICAL END UNIT LOT SIZE= 25' X 77' = 1,925 SF

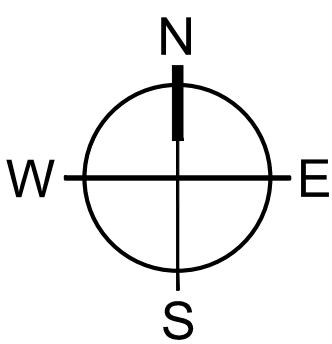
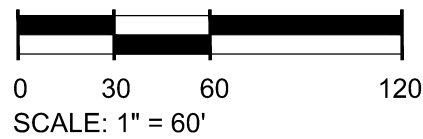
AMENITY OPTIONS	
GAZEBO / SHADE STRUCTURE	
BENCHES	
PICNIC TABLE	
PLAY EQUIPMENT	
FIRE PIT AREA	

- NOTES**
- EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, AND/OR BRICK MATERIALS AND THE FRONT FACADES SHALL BE PROVIDED WITH AT LEAST 25% BRICK OR STONE.
 - THE MINIMUM HEATING SQUARE FEET OF THE UNITS IS 1432 SF.
 - ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE AND SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
 - UNITS BUILT ON SLAB FOUNDATIONS SHALL HAVE A MINIMUM FOUR COURSE BRICK, OF STANDARD SIZE, EXTENDING UP THE FACE OF THE SLAB ON FRONT AND SIDES OF TOWNHOMES.
 - THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF TWO (2) FOOT IN DEPTH.
 - THE MAJORITY OF ALL ROOF AREAS ON ANY HOUSE SHALL HAVE A MINIMUM 6/12 PITCH ROOF.
 - ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEERED CONSISTENT WITH THE ARCHITECTURE OF THE HOME.
 - FRONT LAWNS OF ALL HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL FRONT LOAD GARAGES SHALL HAVE WINDOWS ALONG THE TOP AND/OR CARRIAGE STYLE DOORS OR HARDWARE THAT MIMICS CARRIAGE STYLE DOORS.
 - FIVE (5) FOOT WIDE SIDEWALKS WILL BE REQUIRED ON BOTH SIDES OF THE STREET THROUGHOUT THE DEVELOPMENT.
 - SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
 - HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.
 - COMMENCEMENT OF THE AMENITY AREA SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATE OF OCCUPANCY'S ISSUED.
 - ALL LANDSCAPING SHALL BE KEPT IN THRIVING CONDITION.
 - ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
 - TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCES MUST BE PRESERVED AND SHALL NOT BE REMOVED AND TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, OR DRIVEWAY AREA.
 - FRONT YARD TREES WILL BE PROVIDED WHERE POSSIBLE.
 - TREE SURVEY WILL BE REQUIRED AT THE EROSION CONTROL SUBMITTAL IF APPROVED.
 - STREET TREES SHALL BE PROVIDED WHERE POSSIBLE WITH A CALIPER OF 2 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
 - ALL TOWNHOME UNITS SHALL HAVE A MINIMUM OF ONE CAR GARAGE.

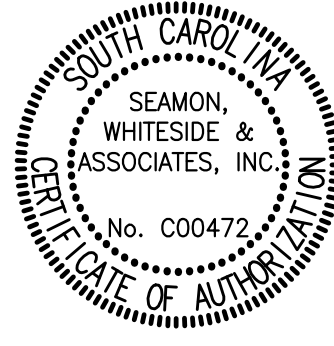
PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE _____ DATE _____

Wigman King
May 11, 2022



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"SUTTON PLACE TOWNHOMES"
REGIONAL DEVELOPERS
PARCEL # 09156002
CITY OF MONROE, NC

SW+ PROJECT: CL1145
DATE: 06/03/21
DRAWN BY: COF
CHECKED BY: FTY

REVISION HISTORY	
A	8/13/21
B	9/02/21
C	10/29/21

SITE PLAN