

VICINITY MAP (NOT TO SCALE)

SITE DEVELOPMENT NOTES:

1. PROPOSED REZONING FROM CD AND R-40 TO CONDITIONAL DISTRICT "THE RIDGE AT 601".
2. ROADS ARE TO BE PRIVATELY MAINTAINED.
3. PROPOSED USES FOR THIS PROJECT ARE SINGLE FAMILY, MULTI-FAMILY, AND COMMERCIAL USES.
4. SIGN REGULATIONS FOR THIS RESIDENTIAL PORTION OF THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS, AND SIGN REGULATIONS FOR THE COMMERCIAL SIDE OF THIS PROJECT SHALL ADHERE TO THE GS SIGN REQUIREMENTS.
5. ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
6. ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
7. TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE WILL BE PRESERVED AND WILL NOT BE REMOVED TO THE EXTENT PRACTICAL.
8. TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORM WATER MANAGEMENT FEATURE, OR STORM OR UTILITY BASIN.
9. DEVELOPER RESERVES THE RIGHT TO REMOVE SICK OR DAMAGED TREES AT DEVELOPER DISCRETION.
10. SETBACK MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR WALL DIMENSION AT THE FOUNDATION. ARCHITECTURAL FEATURES (INCLUDING BUT NOT LIMITED TO OVERHANGS, STOOPS, EAVES, AND SOFFITS) AND MECHANICAL UNITS MAY PROJECT INTO SETBACKS.
11. ACCESSORY STRUCTURES SHALL NOT BE LOCATED BEYOND THE FRONT CORNER OF THE HOME, AND SHALL MAINTAIN A MINIMUM FIVE FOOT (5') SETBACK FROM ALL PROPERTY LINES. ACCESSORY STRUCTURES SHALL NOT BE LOCATED WITHIN PUBLIC EASEMENTS.
12. LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
13. HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.
14. CHAIN LINK FENCE SHALL NOT BE USED ON ANY PART OF THE PROJECT.
15. COMMENCEMENT OF THE AMENITIES AREA SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATE OF OCCUPANCY'S BEING ISSUED.

ATTACHED SINGLE FAMILY (TOWNHOMES):

16. MINIMUM LOT SIZE SHALL BE 1,400 SQFT.
17. MINIMUM MATERIAL TOWNHOME SQUARE FOOTAGE SHALL BE 1,100 SQFT.
18. EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, OR BRICK MATERIALS. BRICK VENEER WILL BE USED ON THE FOUNDATIONS. VINYL SHALL BE LIMITED TO TRIM WORK ONLY.
19. TOWNHOMES SHALL CONSIST OF A MINIMUM 25% BRICK OR STONE ALONG THE FRONT FAÇADE.
20. TOWNHOMES BUILT ON SLAB FOUNDATIONS SHALL HAVE A MINIMUM FOUR COURSE BRICK, OF STANDARD SIZE, EXTENDING UP THE FACE OF THE SLAB.
21. STREET TREES SHALL BE PROVIDED AT A RATE OF 3 PER BUILDING WITH A CALIPER OF 1.4 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
22. EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
23. ALL END UNITS SHALL HAVE A (2) CAR GARAGE AND ALL INNER UNITS SHALL HAVE A MINIMUM OF (1) CAR GARAGE.
24. ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH INNER DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES, AND END UNITS SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
25. CARRIAGE STYLE HARDWARE SHALL BE USED ON ALL GARAGES.
26. THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH.
27. THE MAJORITY OF ALL ROOF AREAS ON ANY BUILDING SHALL HAVE A MINIMUM 6/12 PITCH ROOF.
28. ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEER CONSISTENT WITH THE ARCHITECTURE.
29. FRONT LAWNS OF ALL TOWN HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
30. ALL UNITS WILL UTILIZE ROLL OUT CARTS FOR GARBAGE BINS AND RECYCLING BINS.

COMMERCIAL:

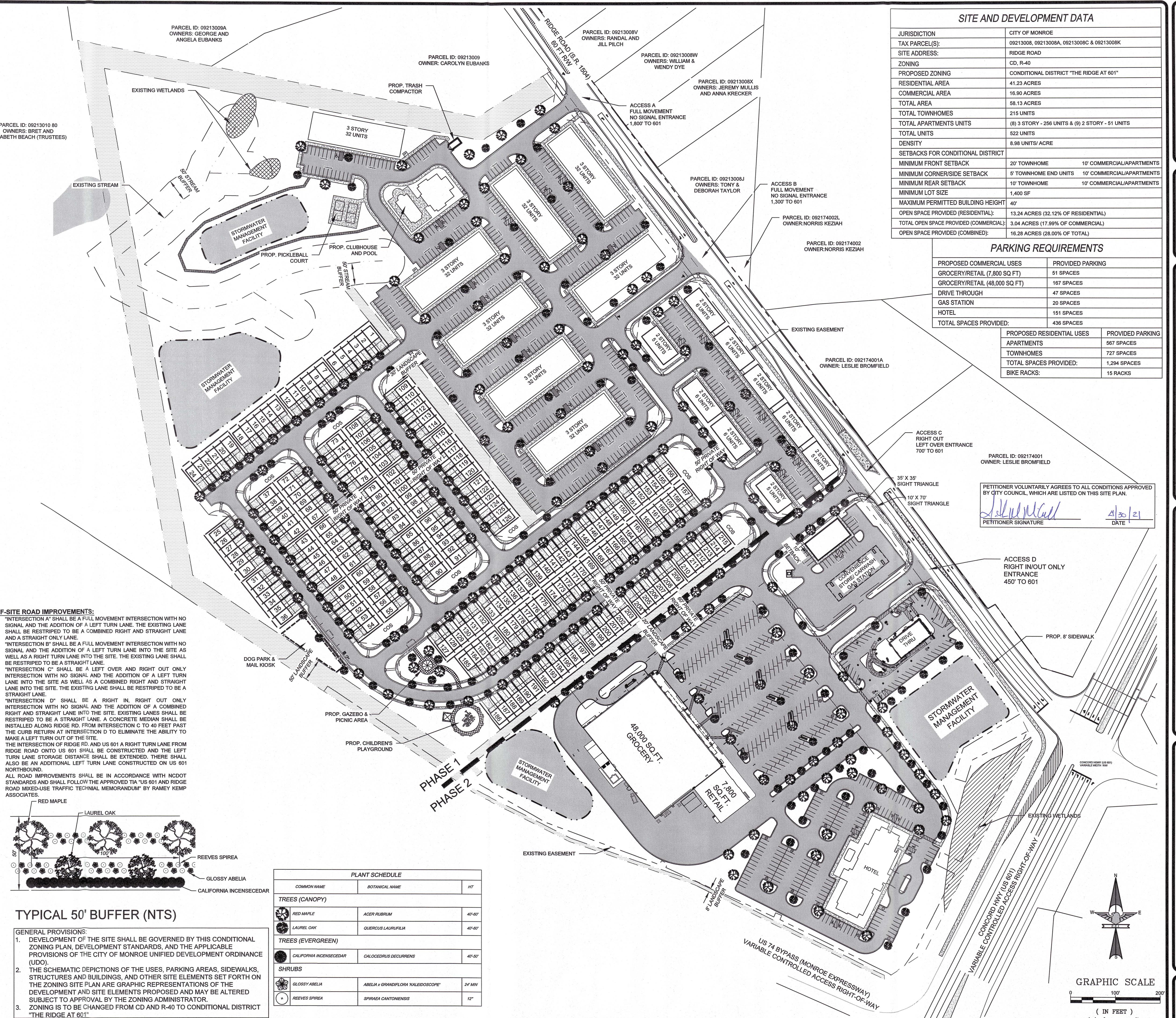
1. THE FOLLOWING USES WILL BE EXCLUDED FROM THIS PROJECT: MOTOR VEHICLE REPAIR SHOP, BUILDING MATERIALS SALES, FUNERAL AND INTERMENT SERVICES, EXTERMINATION SERVICES, TRADE SCHOOLS, RECORDING STUDIOS.

LANDSCAPE PLANTERS WILL BE PERMITTED IN LIEU OF FOUNDATION PLANTINGS ALONG BUILDING FRONTS.

3. EXTERIOR MATERIALS SHALL BE LIMITED TO A BRICK, STONE, STUCCO OR SYNTHETIC STUCCO, FIBER CEMENT OR SIMILAR MATERIAL.
4. WOOD, VINYL, METAL AND MIRRORED GLASS IS PROHIBITED.

APARTMENTS:

1. THE MINIMUM SQUARE FOOTAGE OF 1-BEDROOM APARTMENTS SHALL BE 635 SQ. FT.
2. THE MINIMUM SQUARE FOOTAGE OF 2-BEDROOM APARTMENTS SHALL BE 910 SQFT.
3. THE MINIMUM SQUARE FOOTAGE OF 3-BEDROOM APARTMENTS SHALL BE 1,110 SQFT.
4. EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, OR BRICK MATERIALS. VINYL SHALL BE USED FOR TRIM WORK ONLY.
5. APARTMENTS SHALL CONSIST OF A MINIMUM 25% BRICK OR STONE ALONG THE FRONT FAÇADE.
6. BRICK VENEER WILL BE USED ON THE FOUNDATIONS.
7. LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF MONROE PARKING LOT LANDSCAPING STANDARDS (\$156.220). TREES & SHRUBS SHOULD BE A VARIETY OF SPECIES.
8. EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE A MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
9. THE MAJORITY OF ALL ROOF AREAS ON ANY BUILDING SHALL HAVE A MINIMUM 6/12 PITCHED ROOF.
10. DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH BRICK AND OPAQUE GATES.



REZONING SITE PLAN

For the Benefit of:

THE RIDGE AT 601

Van Buren Avenue

Indian Trail, NC 28079

www.eagleline.net

SITE AND DEVELOPMENT DATA

JURISDICTION	CITY OF MONROE
TAX PARCEL(S):	09213008, 09213008A, 09213008C & 09213008K
SITE ADDRESS:	RIDGE ROAD
ZONING	CD, R-40
PROPOSED ZONING	CONDITIONAL DISTRICT "THE RIDGE AT 601"
RESIDENTIAL AREA	41.23 ACRES
COMMERCIAL AREA	16.90 ACRES
TOTAL AREA	58.13 ACRES
TOTAL TOWNHOMES	215 UNITS
TOTAL APARTMENTS UNITS	(8) 3 STORY - 256 UNITS & (9) 2 STORY - 51 UNITS
TOTAL UNITS	522 UNITS
DENSITY	8.98 UNITS/ACRE
SETBACKS FOR CONDITIONAL DISTRICT	
MINIMUM FRONT SETBACK	20' TOWNHOME 10' COMMERCIAL/APARTMENTS
MINIMUM CORNER/SIDE SETBACK	5' TOWNHOME END UNITS 10' COMMERCIAL/APARTMENTS
MINIMUM REAR SETBACK	10' TOWNHOME 10' COMMERCIAL/APARTMENTS
MINIMUM LOT SIZE	1,400 SF
MAXIMUM PERMITTED BUILDING HEIGHT	40'
OPEN SPACE PROVIDED (RESIDENTIAL)	13.24 ACRES (32.12% OF RESIDENTIAL)
TOTAL OPEN SPACE PROVIDED (COMMERCIAL)	3.04 ACRES (17.99% OF COMMERCIAL)
OPEN SPACE PROVIDED (COMBINED)	16.28 ACRES (28.00% OF TOTAL)

PARKING REQUIREMENTS

PROPOSED COMMERCIAL USES	PROVIDED PARKING
GROCERY/RETAIL (7,800 SQ FT)	51 SPACES
GROCERY/RETAIL (48,000 SQ FT)	167 SPACES
DRIVE THROUGH	47 SPACES
GAS STATION	20 SPACES
HOTEL	151 SPACES
TOTAL SPACES PROVIDED:	436 SPACES

PROPOSED RESIDENTIAL USES	PROVIDED PARKING
APARTMENTS	567 SPACES
TOWNHOMES	727 SPACES
TOTAL SPACES PROVIDED:	1,294 SPACES

BIKE RACKS:	15 RACKS
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PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.
<i>Jill McCall</i>

PETITIONER SIGNATURE

DATE: 1/30/21

NO. DATE BY ISSUE

1 09-24-2020 DAM ADDRESSED CITY OF MONROE COMMENTS

2 10-30-2020 DAM ADDRESSED CITY OF MONROE COMMENTS

3 11-22-2020 DAM ADDRESSED CITY OF MONROE COMMENTS

4 01-22-2021 DAM ADDRESSED CITY OF MONROE COMMENTS

5 2-17-2021 BLD ADDRESSED CITY OF MONROE COMMENTS

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