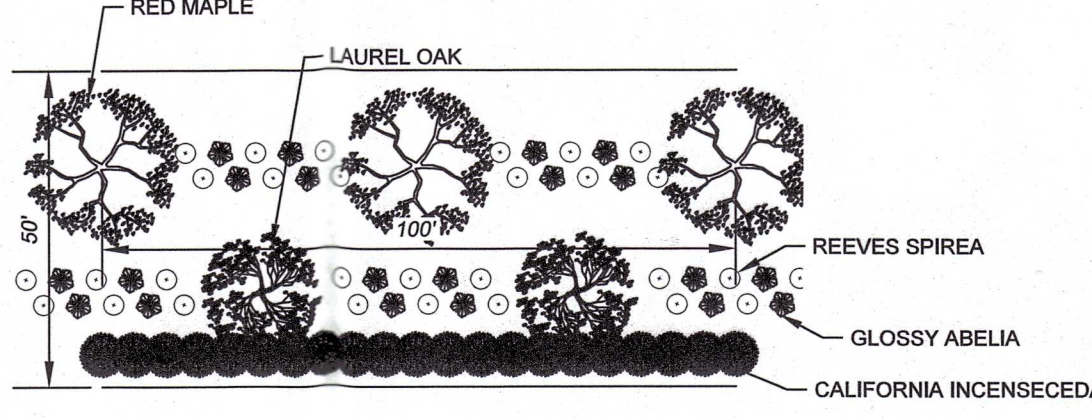


- SITE DEVELOPMENT NOTES:**
- PROPOSED REZONING FROM CD AND R-40 TO CONDITIONAL DISTRICT "THE RIDGE AT 601".
 - ROADS ARE TO BE PRIVATELY MAINTAINED.
 - PROPOSED USES FOR THIS PROJECT ARE SINGLE FAMILY, MULTI-FAMILY, AND COMMERCIAL USES.
 - SIGN REGULATIONS FOR THIS RESIDENTIAL PORTION OF THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS, AND SIGN REGULATIONS FOR THE COMMERCIAL SIDE OF THIS PROJECT SHALL ADHERE TO THE GB SIGN REQUIREMENTS.
 - ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
 - ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS DESIGNEE.
 - TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE WILL BE PRESERVED AND WILL NOT BE REMOVED TO THE EXTENT PRACTICAL.
 - TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORM WATER MANAGEMENT FEATURE, OR STORM OR UTILITY EASEMENT.
 - DEVELOPER RESERVES THE RIGHT TO REMOVE SICK OR DAMAGED TREES AT DEVELOPERS DISCRETION.
 - SETBACK MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR WALL DIMENSION AT THE FOUNDATION. ARCHITECTURAL FEATURES (INCLUDING BUT NOT LIMITED TO OVERHANGS, STOOPS, EAVES, AND SOFFITS AND MECHANICAL UNITS) MAY PROJECT INTO SETBACKS.
 - ACCESSORY STRUCTURES SHALL NOT BE LOCATED BEYOND THE FRONT CORNER OF THE HOME, AND SHALL MAINTAIN A MINIMUM FIVE FOOT (5') SETBACK FROM ALL PROPERTY LINES. ACCESSORY STRUCTURES SHALL NOT BE LOCATED WITHIN PUBLIC EASEMENTS.
 - LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
 - HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMP AREAS, ETC.
 - CHAIN LINK FENCE SHALL NOT BE USED ON ANY PART OF THE PROJECT.
 - COMMENCEMENT OF THE AMENITIES AREA SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATE OF OCCUPANCY'S BEING ISSUED.

- ATTACHED SINGLE FAMILY (TOWNHOMES):**
- MINIMUM LOT SIZE SHALL BE 1,400 SQ. FT.
 - MINIMUM HEATED TOWNHOME SQUARE FOOTAGE SHALL BE 1,100 SQ. FT.
 - EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, OR BRICK MATERIALS. BRICK VENEER WILL BE USED ON THE FOUNDATIONS. VINYL SHALL BE LIMITED TO TRIM WORK ONLY.
 - TOWNHOMES SHALL CONSIST OF A MINIMUM 25% BRICK OR STONE ALONG THE FRONT FACADE.
 - TOWNHOMES BUILT ON SLAB FOUNDATIONS SHALL HAVE A MINIMUM FOUR COURSE BRICK OF STANDARD SIZE, EXTENDING UP THE FACE OF THE SLAB.
 - STREET TREES SHALL BE PROVIDED AT A RATE OF 3 PER BUILDING WITH A CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
 - EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIPER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
 - ALL END UNITS SHALL HAVE A (2) CAR GARAGE AND ALL INNER UNITS SHALL HAVE A MINIMUM OF (1) CAR GARAGE.
 - ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH INNER DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES, AND END UNITS SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
 - CARRIAGE STYLE HARDWARE SHALL BE UTILIZED ON ALL GARAGES.
 - THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH.
 - THE MAJORITY OF ALL ROOF AREAS ON ANY BUILDING SHALL HAVE A MINIMUM 6/12 PITCH ROOF.
 - ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEER CONSISTENT WITH THE ARCHITECTURE.
 - FRONT LAWNS OF ALL TOWN HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL UNITS WILL UTILIZE ROLL OUT CARTS FOR GARBAGE BINS AND RECYCLING BINS.

- COMMERCIAL:**
- THE FOLLOWING USES WILL BE EXCLUDED FROM THIS PROJECT: MOTOR VEHICLE REPAIR SHOP, BUILDING MATERIALS SALES, FUNERAL AND INTERMENT SERVICES, EXTERMINATION SERVICES, TRADE SCHOOLS, RECORDING STUDIOS.
 - LANDSCAPE PLANTERS WILL BE PERMITTED IN LIEU OF FOUNDATION PLANTINGS ALONG BUILDING FRONTAGES.
 - EXTERIOR MATERIALS SHALL BE LIMITED TO A BRICK, STONE, STUCCO OR SYNTHETIC STUCCO, FIBER CEMENT OR SIMILAR MATERIAL. WOOD, VINYL, METAL AND MIRROR GLASS IS PROHIBITED.
- APARTMENTS:**
- THE MINIMUM SQUARE FOOTAGE OF 1-BEDROOM APARTMENTS SHALL BE 635 SQ. FT.
 - THE MINIMUM SQUARE FOOTAGE OF 2-BEDROOM APARTMENTS SHALL BE 910 SQ. FT.
 - THE MINIMUM SQUARE FOOTAGE OF 3-BEDROOM APARTMENTS SHALL BE 1,110 SQ. FT.
 - EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, OR BRICK MATERIALS. VINYL SHALL BE USED FOR TRIM WORK ONLY.
 - APARTMENTS SHALL CONSIST OF A MINIMUM 25% BRICK OR STONE ALONG THE FRONT FACADE.
 - BRICK VENEER WILL BE USED ON THE FOUNDATIONS.
 - LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF MONROE PARKING LOT LANDSCAPING STANDARDS (§156.220). TREES & SHRUBS SHOULD BE A VARIETY OF SPECIES.
 - EACH BUILDING SHALL HAVE AT LEAST 2 TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE A MINIMUM CALIPER OF 1 1/2" MEASURED 6 INCHES ABOVE GRADE.
 - THE MAJORITY OF ALL ROOF AREAS ON ANY BUILDING SHALL HAVE A MINIMUM 6/12 PITCHED ROOF.
 - DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH BRICK AND OPAQUE GATES.

- OFF-SITE ROAD IMPROVEMENTS:**
- "INTERSECTION A" SHALL BE A FULL MOVEMENT INTERSECTION WITH NO SIGNAL AND THE ADDITION OF A LEFT TURN LANE. THE EXISTING LANE SHALL BE RESTRIPTED TO BE A COMBINED RIGHT AND STRAIGHT LANE AND A STRAIGHT ONLY LANE.
 - "INTERSECTION B" SHALL BE A FULL MOVEMENT INTERSECTION WITH NO SIGNAL AND THE ADDITION OF A LEFT TURN LANE INTO THE SITE AS WELL AS A RIGHT TURN LANE INTO THE SITE. THE EXISTING LANE SHALL BE RESTRIPTED TO BE A STRAIGHT LANE.
 - "INTERSECTION C" SHALL BE A LEFT OVER AND RIGHT OUT ONLY INTERSECTION WITH NO SIGNAL AND THE ADDITION OF A LEFT TURN LANE INTO THE SITE AS WELL AS A COMBINED RIGHT AND STRAIGHT LANE INTO THE SITE. THE EXISTING LANE SHALL BE RESTRIPTED TO BE A STRAIGHT LANE.
 - "INTERSECTION D" SHALL BE A RIGHT IN, RIGHT OUT ONLY INTERSECTION WITH NO SIGNAL AND THE ADDITION OF A COMBINED RIGHT AND STRAIGHT LANE INTO THE SITE. EXISTING LANES SHALL BE RESTRIPTED TO BE A STRAIGHT LANE. A CONCRETE MEDIAN SHALL BE INSTALLED ALONG RIDGE RD. FROM INTERSECTION C TO 40 FEET PAST THE CURB RETURN AT INTERSECTION D TO ELIMINATE THE ABILITY TO MAKE A LEFT TURN OUT OF THE SITE.
 - THE INTERSECTION OF RIDGE RD. AND US 601 A RIGHT TURN LANE FROM RIDGE ROAD ONTO US 601 SHALL BE CONSTRUCTED AND THE LEFT TURN LANE STORAGE DISTANCE SHALL BE EXTENDED. THERE SHALL ALSO BE AN ADDITIONAL LEFT TURN LANE CONSTRUCTED ON US 601 NORTHBOUND.
 - ALL ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND SHALL FOLLOW THE APPROVED TIA "US 601 AND RIDGE ROAD MIXED-USE TRAFFIC TECHNICAL MEMORANDUM" BY RAMEY KEMP ASSOCIATES.



- TYPICAL 50' BUFFER (NTS)**
- GENERAL PROVISIONS:**
- DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THIS CONDITIONAL ZONING PLAN, DEVELOPMENT STANDARDS, AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE (UDO).
 - THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, AND OTHER SITE ELEMENTS SET FORTH ON THE ZONING SITE PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT AND SITE ELEMENTS PROPOSED AND MAY BE ALTERED SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR.
 - ZONING IS TO BE CHANGED FROM CD AND R-40 TO CONDITIONAL DISTRICT "THE RIDGE AT 601".

PLANT SCHEDULE		
COMMON NAME	BOTANICAL NAME	HT
TREES (CANOPY)		
RED MAPLE	ACER RUBRUM	40'-60'
LAUREL OAK	QUERCUS LAURIFOLIA	40'-60'
TREES (EVERGREEN)		
CALIFORNIA INCENSECEDAR	CALOCEDRUS DECURRENS	40'-60'
SHRUBS		
GLOSSY ABELIA	ABELIA X GRANDIFLORA "KALEIDOSCOPE"	3'4" MIN
REEVES SPIREA	SPIRAEA CANTONIENSIS	12"

SITE AND DEVELOPMENT DATA	
JURISDICTION	CITY OF MONROE
TAX PARCEL(S):	09213008, 09213008A, 09213008C & 09213008K
SITE ADDRESS:	RIDGE ROAD
ZONING	CD, R-40
PROPOSED ZONING	CONDITIONAL DISTRICT "THE RIDGE AT 601"
RESIDENTIAL AREA	41.23 ACRES
COMMERCIAL AREA	16.90 ACRES
TOTAL AREA	58.13 ACRES
TOTAL TOWNHOMES	215 UNITS
TOTAL APARTMENTS UNITS	(8) 3 STORY - 256 UNITS & (9) 2 STORY - 51 UNITS
TOTAL UNITS	522 UNITS
DENSITY	8.98 UNITS/ACRE
SETBACKS FOR CONDITIONAL DISTRICT	
MINIMUM FRONT SETBACK	20' TOWNHOME 10' COMMERCIAL/APARTMENTS
MINIMUM CORNER/SIDE SETBACK	5' TOWNHOME END UNITS 10' COMMERCIAL/APARTMENTS
MINIMUM REAR SETBACK	10' TOWNHOME 10' COMMERCIAL/APARTMENTS
MINIMUM LOT SIZE	1,400 SF
MAXIMUM PERMITTED BUILDING HEIGHT	40'
OPEN SPACE PROVIDED (RESIDENTIAL):	13.24 ACRES (22.12% OF RESIDENTIAL)
TOTAL OPEN SPACE PROVIDED (COMMERCIAL):	3.04 ACRES (17.99% OF COMMERCIAL)
OPEN SPACE PROVIDED (COMBINED):	16.28 ACRES (28.00% OF TOTAL)

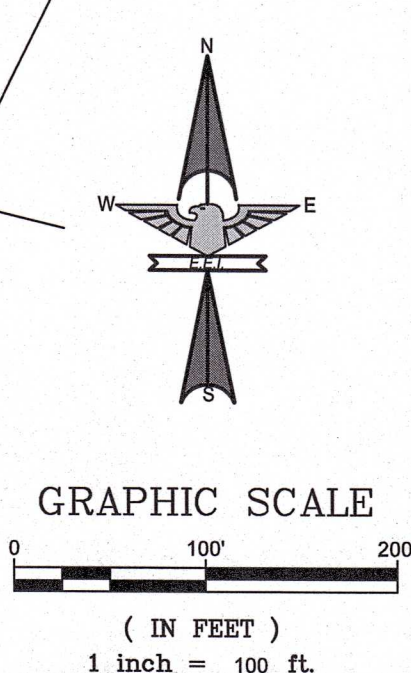
PARKING REQUIREMENTS	
PROPOSED COMMERCIAL USES	PROVIDED PARKING
GROCERY/RETAIL (7,800 SQ FT)	51 SPACES
GROCERY/RETAIL (48,000 SQ FT)	167 SPACES
DRIVE THROUGH	47 SPACES
GAS STATION	20 SPACES
HOTEL	151 SPACES
TOTAL SPACES PROVIDED:	436 SPACES

PROPOSED RESIDENTIAL USES	PROVIDED PARKING
APARTMENTS	567 SPACES
TOWNHOMES	727 SPACES
TOTAL SPACES PROVIDED:	1,294 SPACES
BIKE RACKS:	15 RACKS

PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE: *Leslie Bromfield* DATE: 4/30/21

PHASE 1
PHASE 2



EAGLE ENGINEERING

2013A Van Buren Avenue
Indian Trail, NC 28079
(704) 882-4222
www.eagleengineer.com

**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO.	DATE	BY	ISSUE
1	09-24-2020	DAM	ADDRESSED CITY OF MONROE COMMENTS
2	10-30-2020	DAM	ADDRESSED CITY OF MONROE COMMENTS
3	11-25-2020	DAM	ADDRESSED CITY OF MONROE COMMENTS
4	01-22-2021	DAM	ADDRESSED CITY OF MONROE COMMENTS
5	2-17-2021	BLD	ADDRESSED CITY OF MONROE COMMENTS

THE RIDGE AT 601
MONROE, UNION COUNTY, NC

For the benefit of:
RIDGE ROAD PARTNERS, LLC.

REZONING SITE PLAN

DESIGNED BY	BLD	CHECKED BY	MCK
DRAWN BY	BLD	DATE	09/16/2020
AS SHOWN		JOB NUMBER	6762

Sheet

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