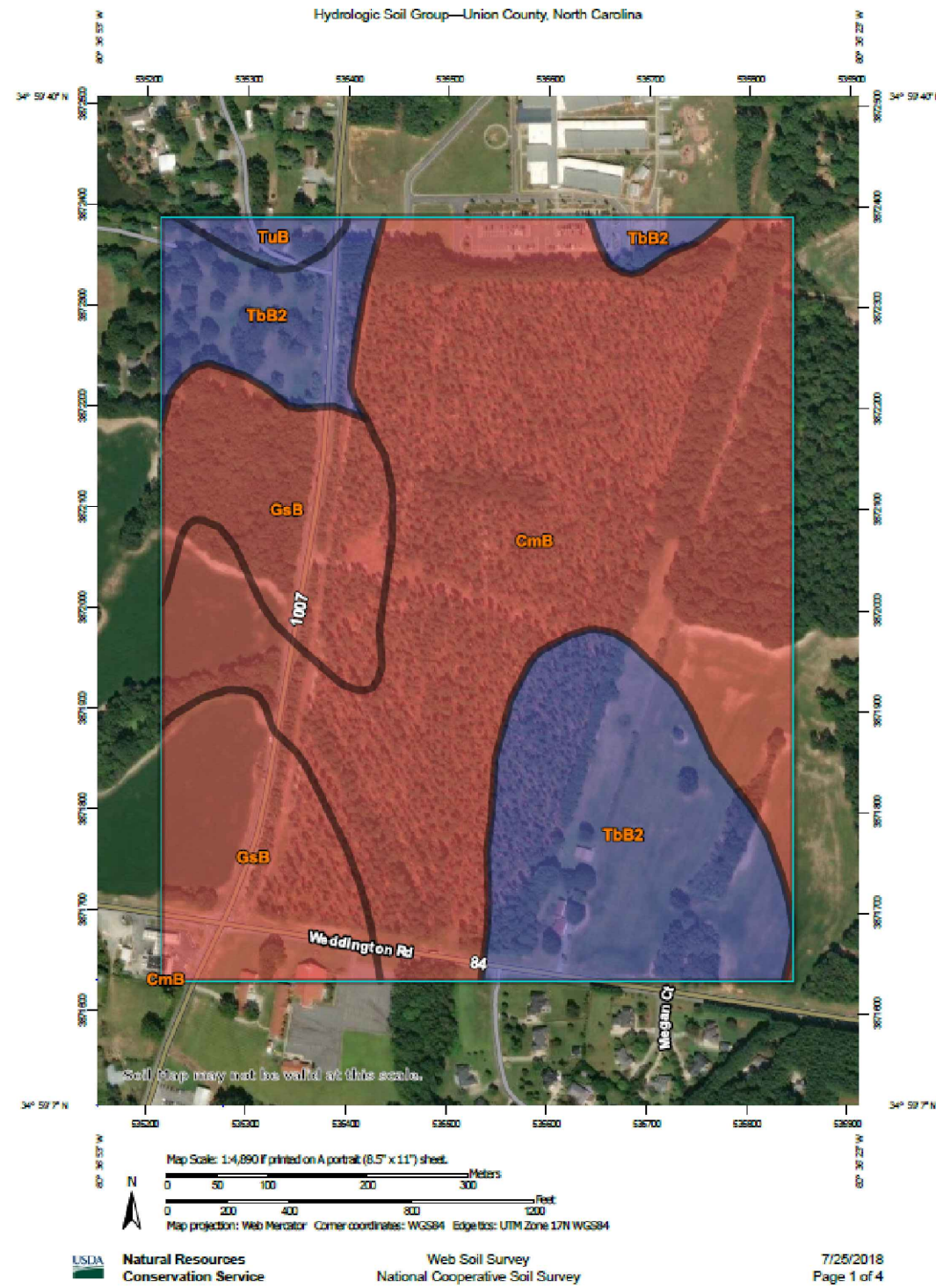
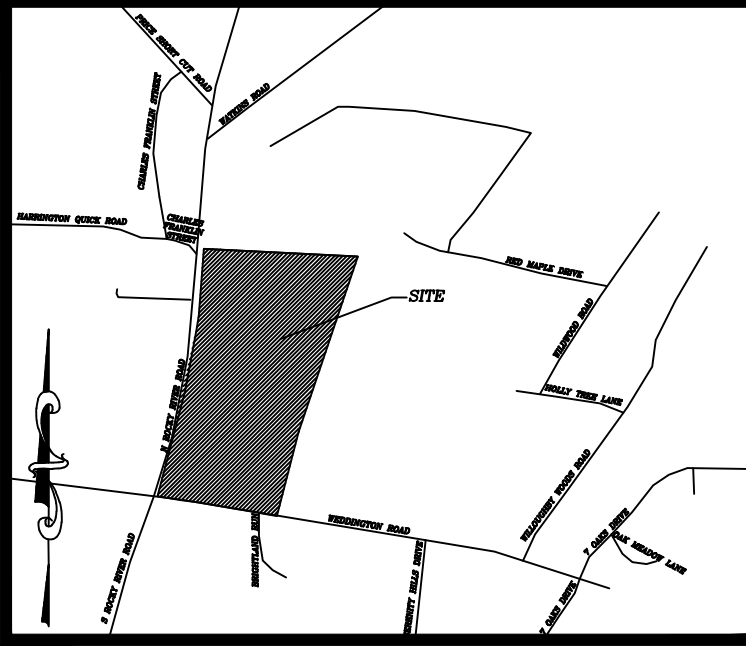




APPROVED
By City Council 9/4/18



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7140 Waddington Road
Suite 140
Concord, NC 28027
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

VILLAGE AT ROCKY RIVER
BY
MONROE, NORTH CAROLINA

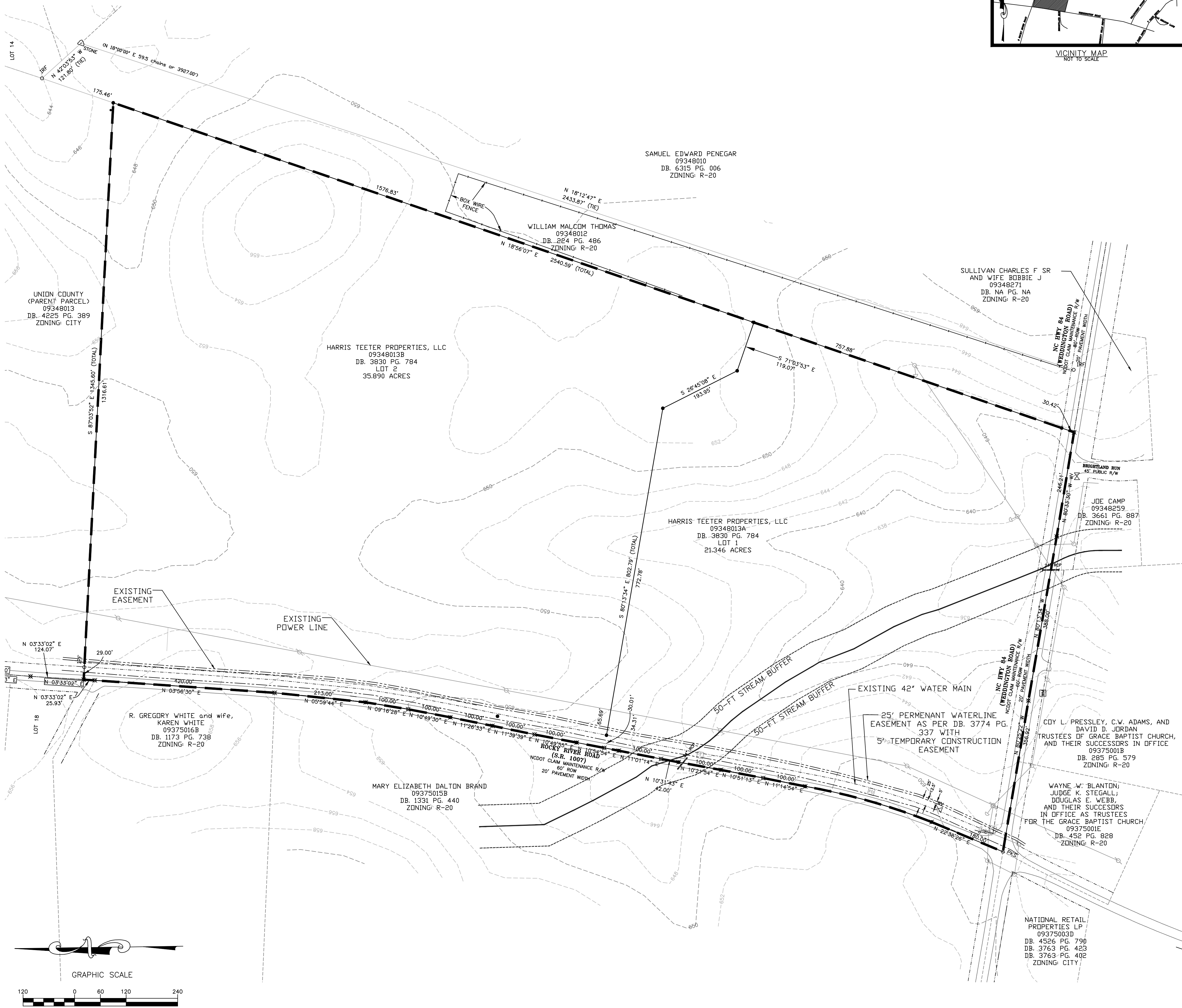
STREETSCAPE LAND PARTNERS
10815 SIKES PLACE, SUITE 300
CHARLOTTE, NC 28277
(704) 321-1000

Project Number: 17-17-230
Date: 07-24-2018
Drawn By: EML
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Revisions:

05/29/18	ORIGINAL SUBMITTAL
07/24/18	PER CITY OF MONROE

Sheet Title:
**Boundary/
Existing
Conditions**
Sheet No:
C-1.0

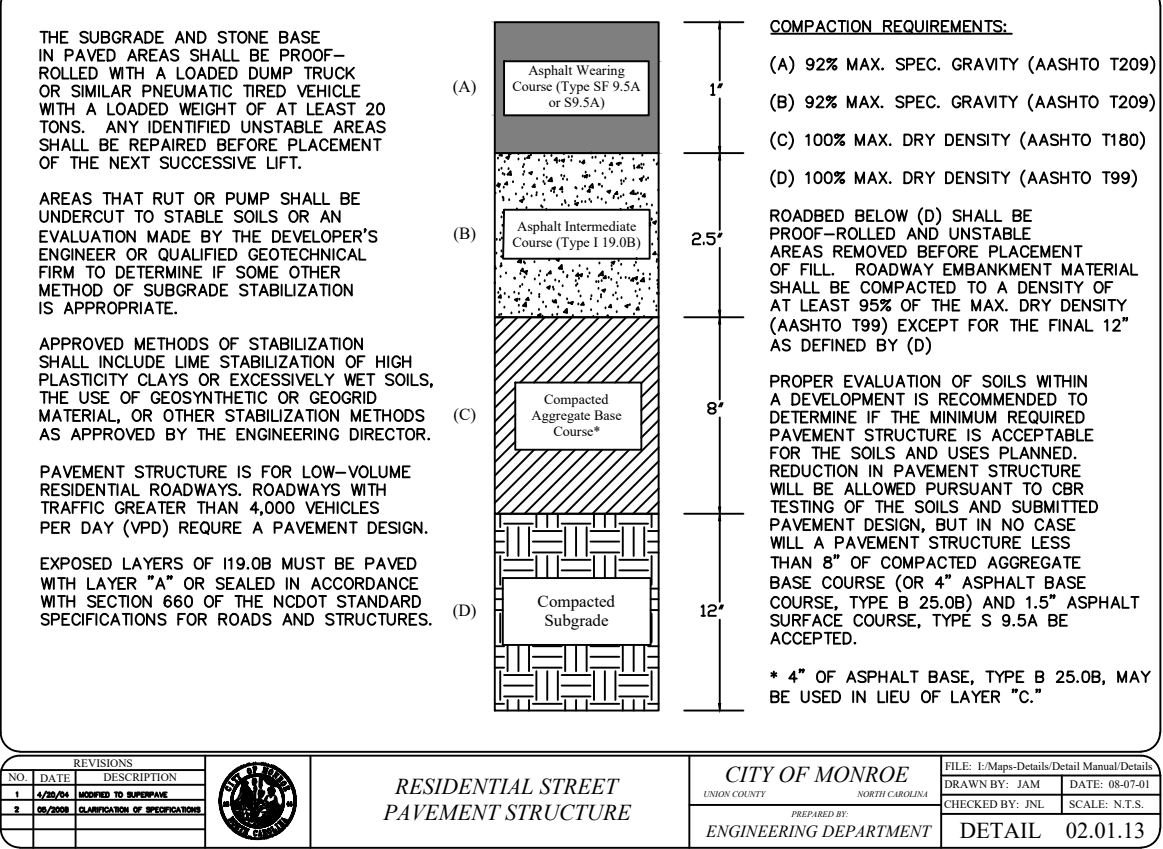
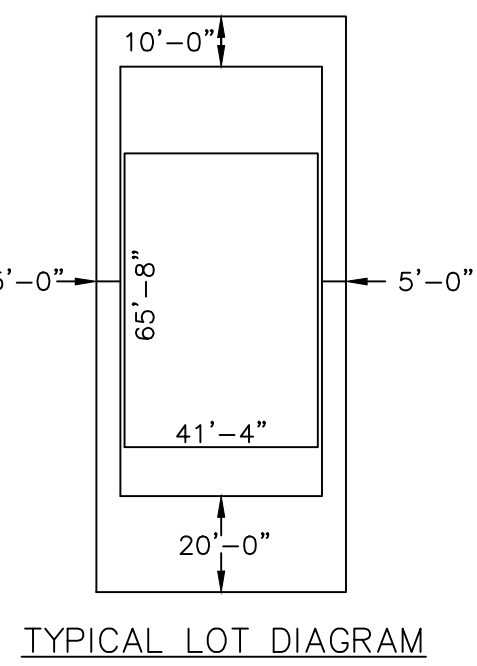
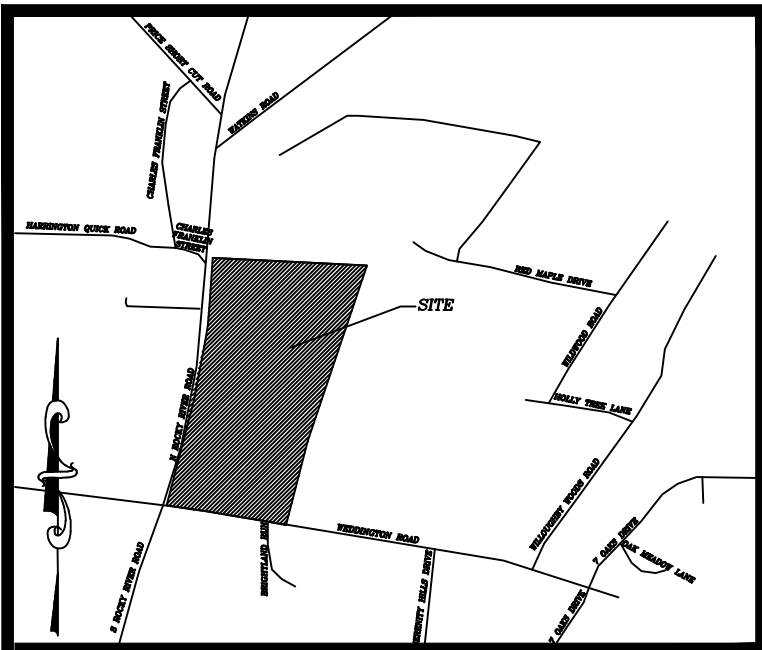


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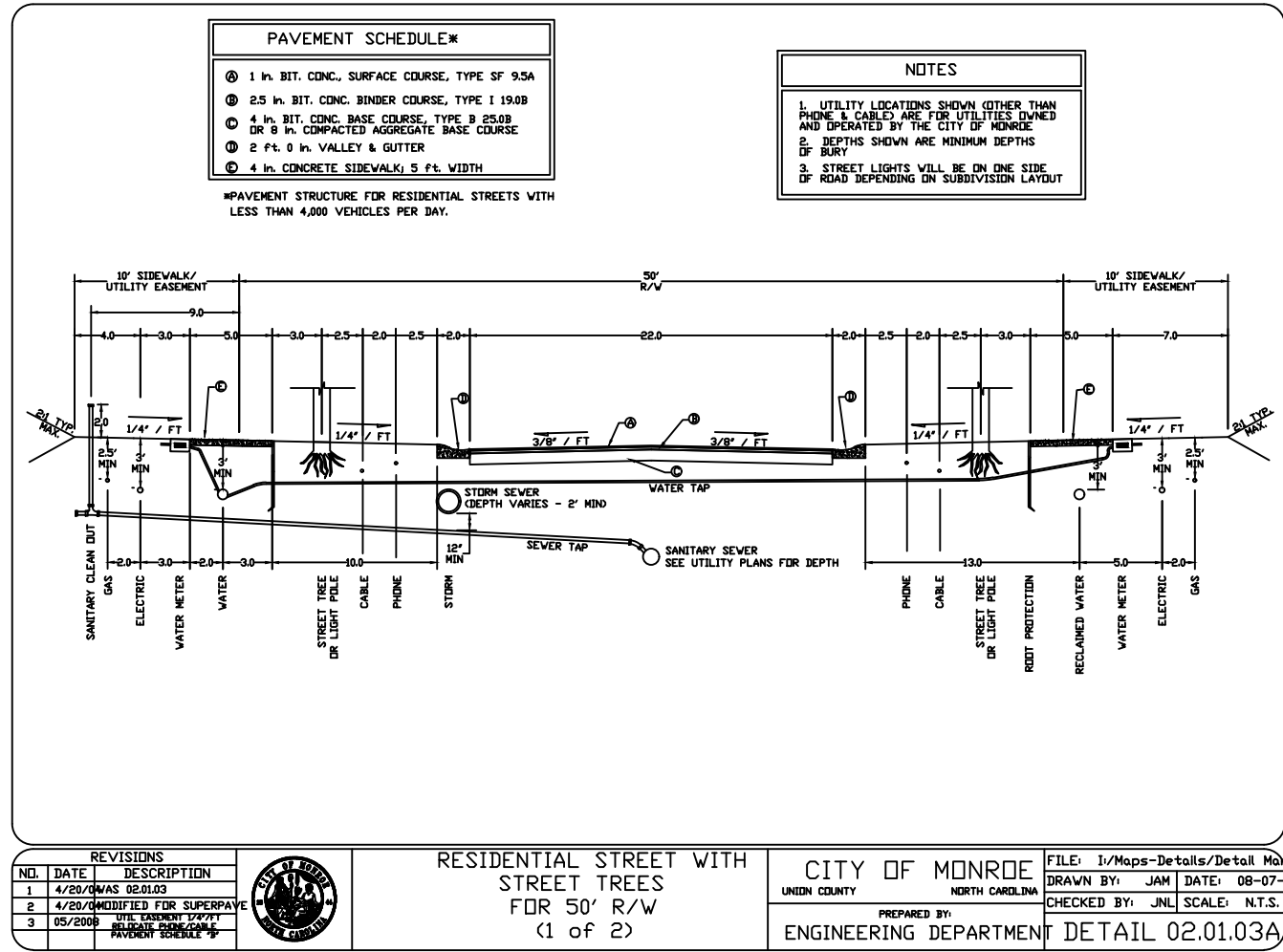
- DEVELOPMENT BOUNDARY
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- EXISTING GRADE

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- WATER RESOURCE NOTES:
- There is an existing 12" DIP water main that runs along the eastern side of N Rocky River Rd beside the subject parcel. In addition, there is an existing 16" DIP water main that runs along the south side of Parcel 09-348-01 3A along Weddington Rd.
 - A water main extension will be required to serve the development per the City of Monroe Water and Sewer Extension Policy. The proposed water main extension shall be designed by a Professional Engineer constructed and financed at the Developer's Expense in accordance with the City of Monroe's Standards and Water and Sewer Extension Policy. It shall be the responsibility of the Developer's Engineer to confirm the feasibility of water service to the proposed area, as well as adequate fire flow protection.
 - A sewer main extension is required to serve the development. The sewer is located to the northeast of the northern property boundary of subject parcel 09-348-01 3B and runs to the north. The existing sewer system has capacity to handle the additional flow. The proposed sewer main extension to the subject parcels shall be designed by a Professional Engineer constructed and financed at the Developer's Expense in accordance with the City of Monroe's Standards and Water and Sewer Extension Policy. It shall be the responsibility of the Developer's Engineer to confirm the feasibility of sewer service to the proposed area. It is anticipated that gravity sewer should be available to serve the residential portion of the subject property. The commercial portion of the subject property may require a private pump station if gravity cannot be achieved. Please have your engineer verify.
 - All on-site and off-site water and sewer main extensions for the proposed development are to be designed, constructed and financed at the Developer's expense pursuant to the current City of Monroe Standards and Extension Policy.
 - All off-site easements are to be obtained by the Developer at their expense.
 - All water mains shall be centered in a 20-foot General Public Utility Easement (G.P.U.E.) and all sewer mains shall be centered in a 30-foot G.P.U.E. if not located within a dedicated right of way.
 - Water and Sewer capacity fees will be due based on the prevailing fee schedule and in compliance with GS 82A. Water and Sewer taps will be pre-installed by the developer pursuant to City standards. Meter set fees will be due based on the prevailing fee schedule when service is desired for the particular lot within the development.
 - Any proposed building and plumbing plans and/or modifications shall be submitted for review and approval through the permit process and additional comments will be provided at that time.



BLOCK	DESCRIPTION	LENGTH
STREET A	END OF PHASE TO STREET E	315 FT
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TOTAL		8,037 FT

SITE PLAN DATA TABLE	
Original Parcel ID Number(s):	09348013 A & 09348013 B
Total Acreage	55.07
Total Square Feet	2,388,864
Principal Use(s)	Single-Family Residential
Building Type	Detached Homes
Existing Zoning District	R40, CD
Overlay District, if Applicable	N/A
Proposed Re-Zoning	Conditional District
Percentage of Impervious Shown	+/- 64.54%
Total open space required	6.88 acres (12.5% site area)
Total open space provided	10.06 acres (18.30% site area)
Density	3.34 units/acre
Lot Count	184
Total Number of Dwellings (Detached/Attached)	184
Dimensional Requirements	Single-Family Detached
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Lot Width	52 FT +/-
Lot Depth	120 FT +/-
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CURVE	LENGTH	RADIUS	CURVE	LENGTH	RADIUS	CURVE	LENGTH	RADIUS
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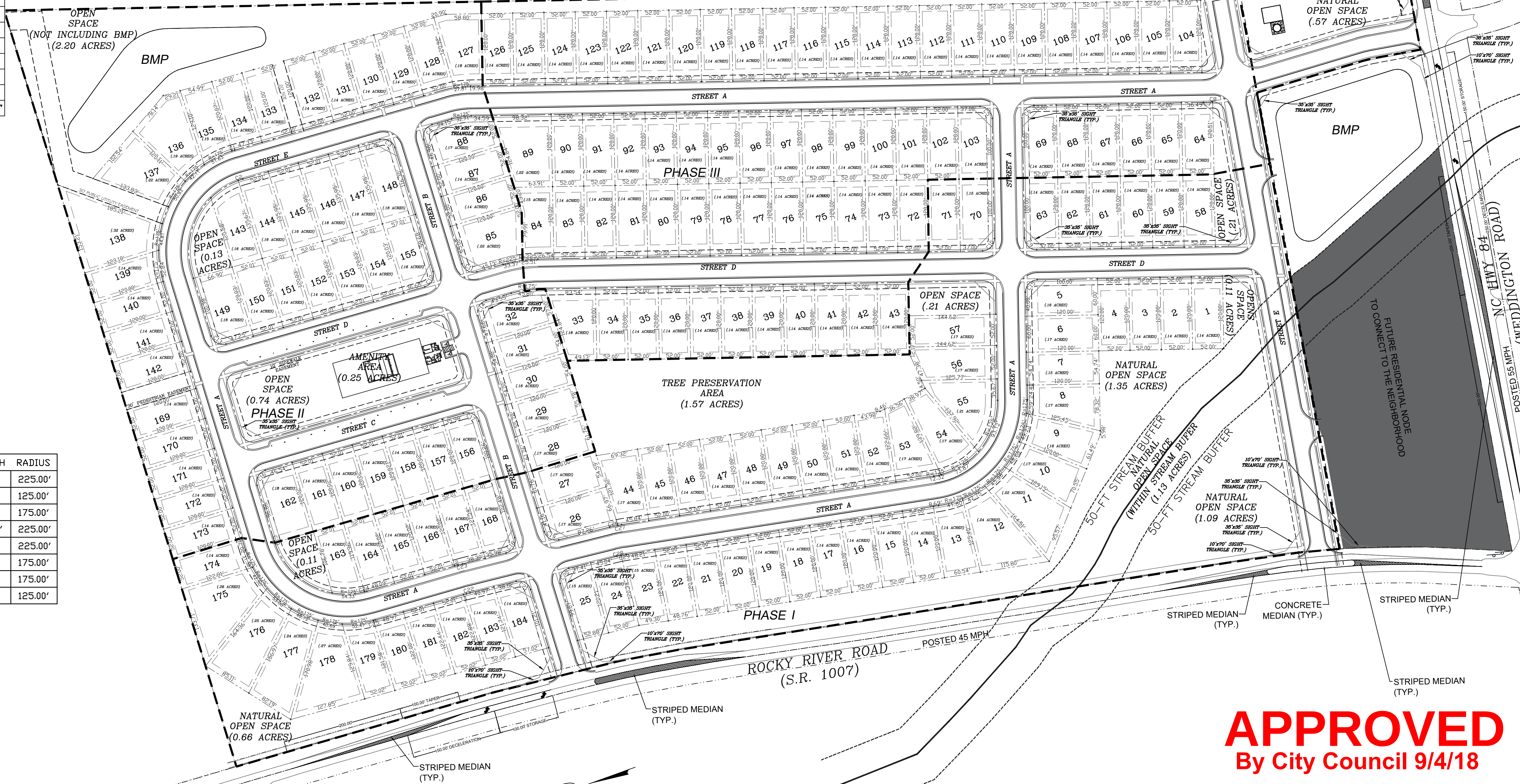
IMPERVIOUS AREA CHART					PERCENT IMPERVIOUS
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	AMENITY (SQ FT)		
208,730	97,068	1,231,435	11,017		64.54%

* BUA RESERVE SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER

REFERENCE: ALL PARCEL AND BOUNDARY INFORMATION, ADJACENT PROPERTIES, PROPERTY DIMENSIONS, TOPO, AND COORDINATES REFERENCED FROM A SURVEY PROVIDED BY MCKIM AND CREED.

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LOT CHART				APPROXIMATE	
PHASE	52'+		TOTAL	TIME FRAME	
I	66		66	2018-2019	
II	50		50	2019-2020	
III	68		68	2020-2021	
TOTAL	184		184		



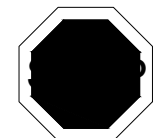
APPROVED
By City Council 9/4/18

- LEGEND:
- EXISTING RIGHT-OF-WAY
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED LOT LINE
 - PROPOSED SETBACK

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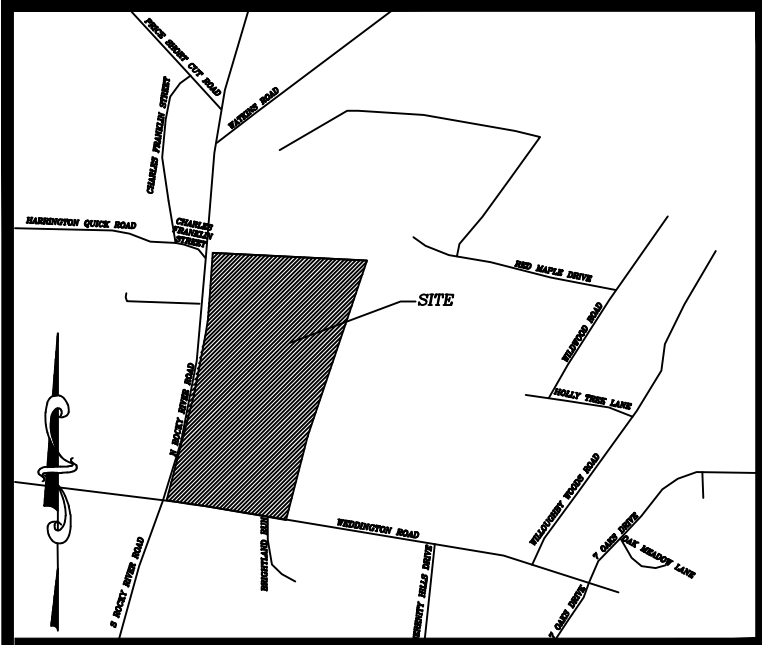
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10815 SIKES PLACE, SUITE 300
CHARLOTTE, NC 28277
(704) 321-1000

Project Number: 17-17-230
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08/24/18 PER DEVELOPER

Sheet Title:
**Overall
Site
Plan**

Sheet No:
C-2.0



VICINITY MAP
NOT TO SCALE

BLOCK	BLOCK LENGTH TABLE DESCRIPTION	LENGTH
STREET A	END OF PHASE TO STREET E	315 FT
STREET A	STREET E TO STREET A	360 FT
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Total Square Feet	2,398,864
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Proposed Re-Zoning	Conditional District
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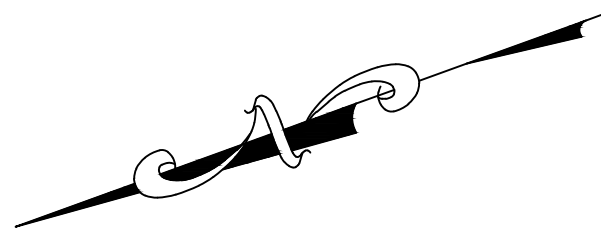
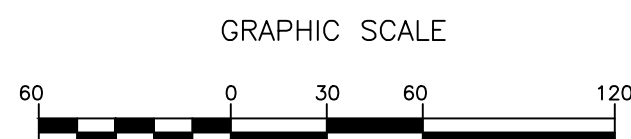
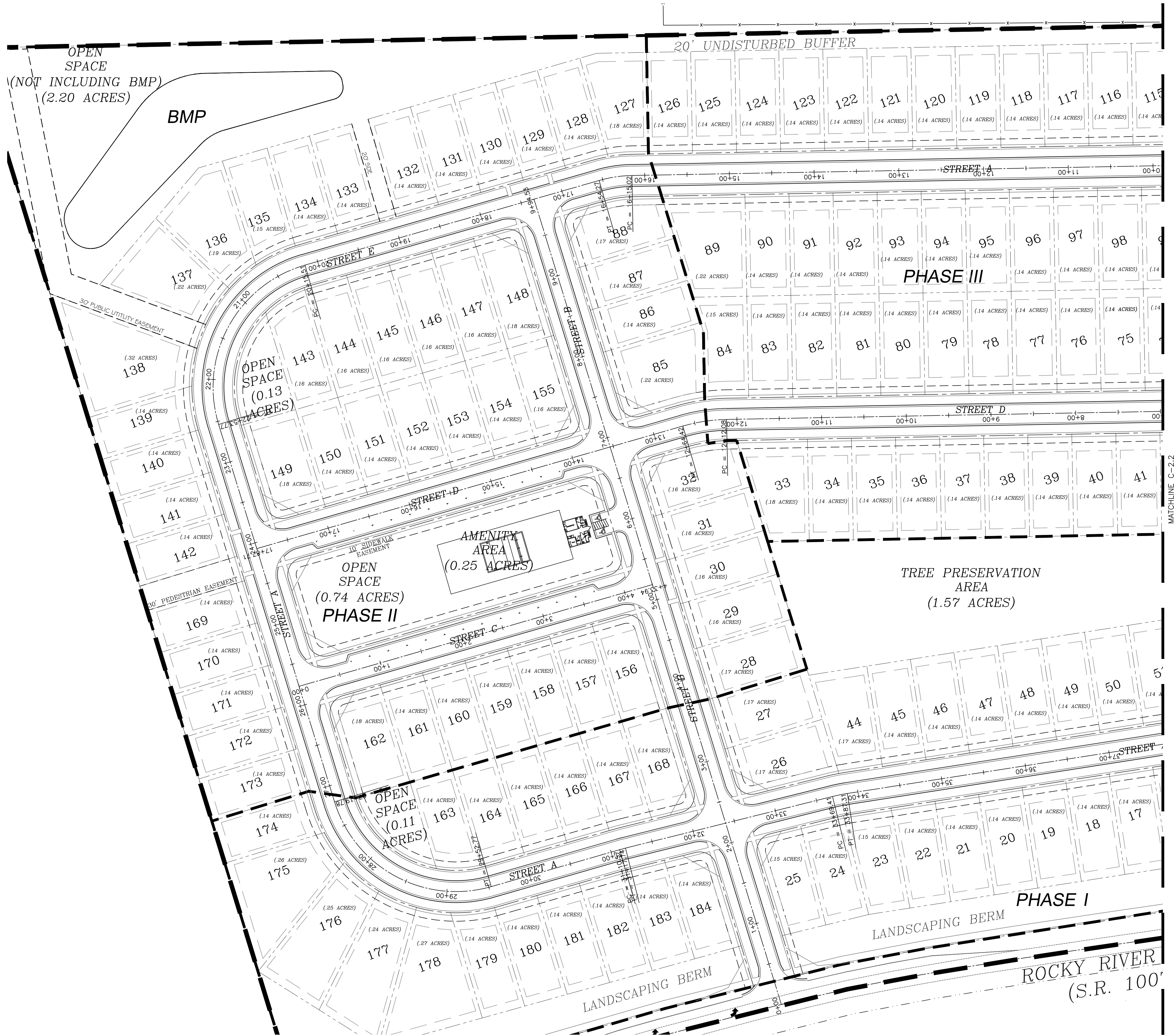
CURVE	LENGTH	RADIUS	CURVE	LENGTH	RADIUS	CURVE	LENGTH	RADIUS
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LINE	LENGTH
L1	4.82'
L2	5.70'

APPROVED
By City Council 9/4/18

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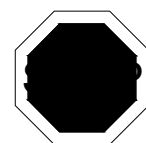
LEGEND:

	DEVELOPMENT BOUNDARY
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VILLAGE AT ROCKY RIVER

MONROE, NORTH CAROLINA

BY
RALEY MILLER PROPERTIES
10815 SIKES PLACE, SUITE 300
CHARLOTTE, NC 28277
(704) 321-1000

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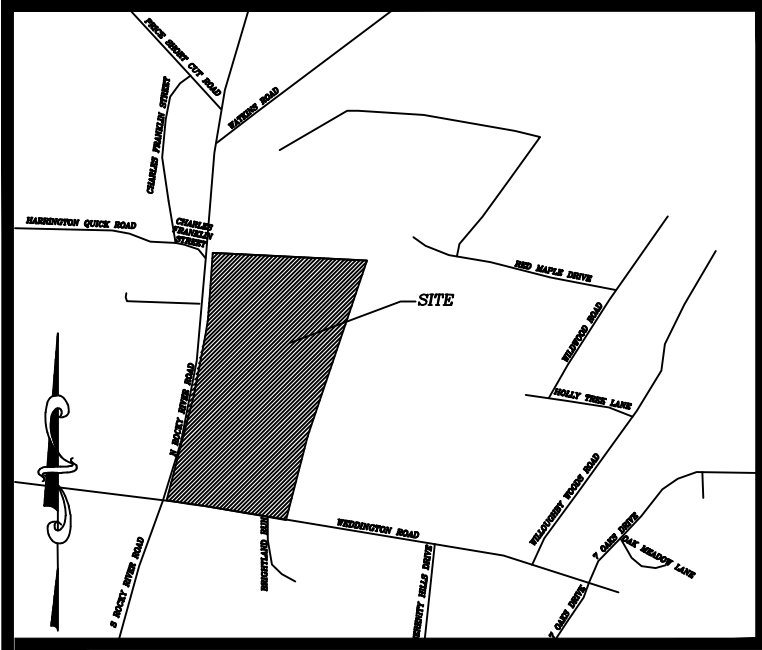
Revisions:
05/29/18 ORIGINAL SUBMITTAL
07/24/18 PER CITY OF MONROE
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Sheet Title:

60 Scale
Site
Plan

Sheet No:

C-2.1



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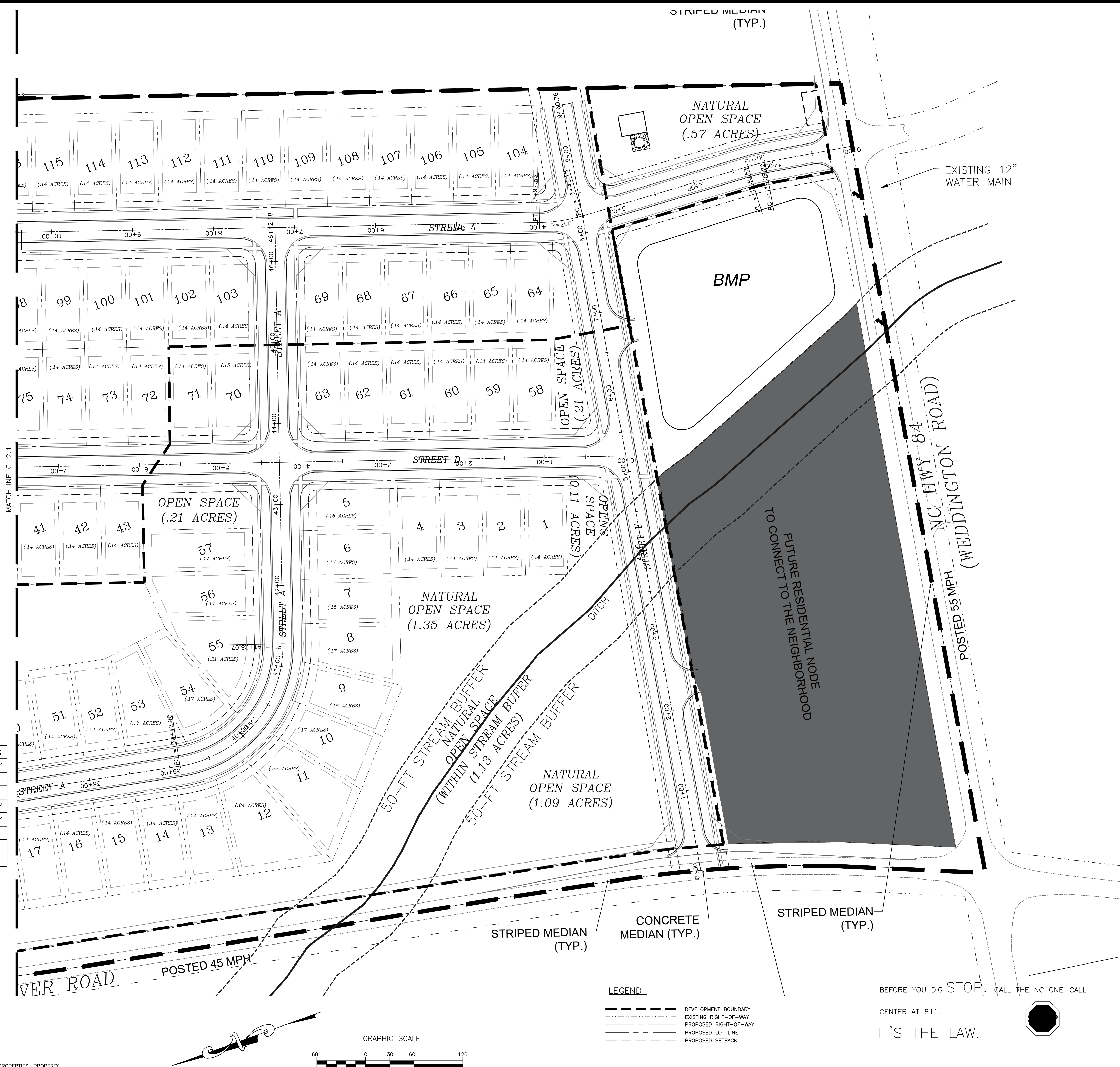
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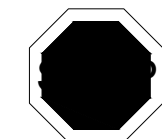
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---	PROPOSED RIGHT-OF-WAY
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Sheet Title:

60 Scale
Site
Plan

Sheet No:

C-2.2

LANDSCAPING LEGEND



TYPICAL 50' LANDSCAPING BERM (TYP.)

SITE DEVELOPMENT NOTES:

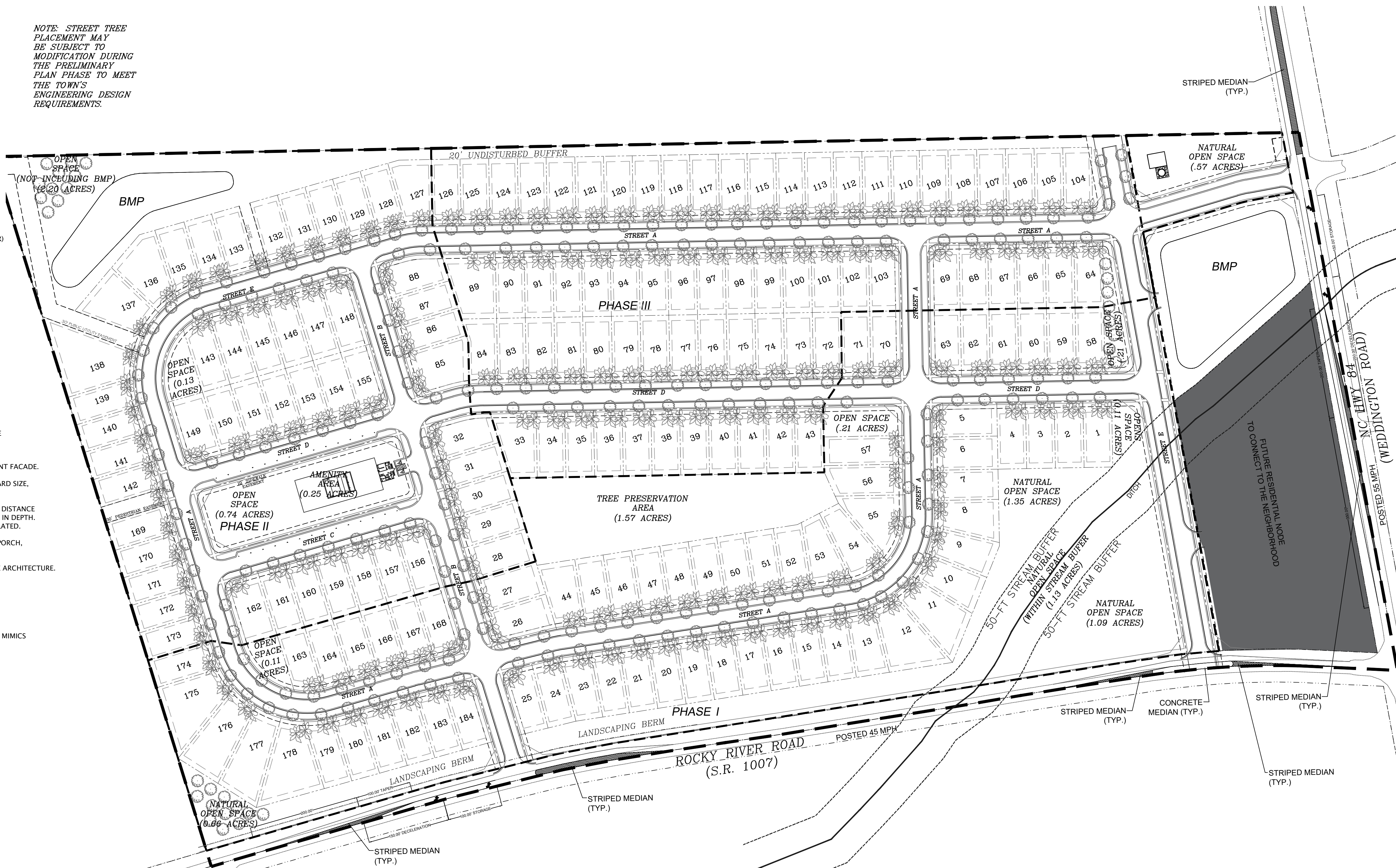
- 1.) PROPOSED REZONING FROM R-40 TO CONDITIONAL DISTRICT (VILLAGE AT ROCKY RIVER)
- 2.) ROADS WILL BE PUBLIC STREETS CONSTRUCTED IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
- 3.) MINIMUM LOT SIZE IS 6,240 SQ. FT.
- 4.) AVERAGE LOT SIZE IS 6,656 SQ. FT.
- 5.) MINIMUM HOUSE SIZE IS 1,400 SQ. FT.
- 6.) STREET TREES SHALL BE PROVIDED AT A RATE OF 1 PER LOT WITH A CALIPER OF 1.5 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
- 7.) EACH HOME SHALL HAVE AT LEAST 2 FRONT YARD TREES, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES MEASURED 6 INCHES ABOVE GRADE.
- 8a.) EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, AND/OR BRICK MATERIALS. VINYL MAY ALSO BE USED IF THE VINYL IS HIGH-GRADE (THICKNESS RANGING FROM 0.044 TO 0.055 INCHES, INSULATED WITH BACKING MATERIAL, IS HEAT RESISTANT WITH UV REFLECTIVE ADDITIVES, AND IS WIND RESISTANT). IF VINYL IS USED AS PRIMARY EXTERIOR BUILDING MATERIAL, THE FRONT FACADE MUST INCLUDE SOME BLEND OF ADDITIONAL BUILDING MATERIAL SUCH AS BRICK, STONE, OR STUCCO WITH THE FOLLOWING EXCEPTION:
- 8b.) A MAXIMUM OF 62 OF THE 184 PROPOSED HOMES MAY USE VINYL ON THE ENTIRE FRONT FACADE.
- 9.) HOUSES BUILT ON CRAWL OR STEM WALL FOUNDATIONS SHALL HAVE BRICK, OF STANDARD SIZE, EXTENDING UP THE ENTIRE FACE OF THE FOUNDATION.
- 10.) THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH. GARAGE DOORS, DOORS, WINDOWS, AND MIX MATERIALS DO NOT CONSTITUTE UNARTICULATED.
- 11.) NO GARAGE SHALL EXTEND MORE THAN 5' FROM THE FACE OF THE HOUSE OR FRONT PORCH, WHICHEVER IS GREATER.
- 12.) ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEERED CONSISTENT WITH THE ARCHITECTURE.
- 13.) ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
- 14.) ALL HOUSES SHALL HAVE A STANDARD TWO CAR ATTACHED GARAGE (MINIMUM).
- 15.) ALL FRONT LOAD GARAGES SHALL HAVE CARRIAGE STYLE DOORS OR HARDWARE THAT MIMICS CARRIAGE STYLE DOORS.
- 16.) FRONT LAWNS OF ALL SINGLE FAMILY HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 17.) SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
- 18.) ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- 19.) ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR HIS/HER DESIGNEE.
- 20.) TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE MUST BE PRESERVED AND SHALL NOT BE REMOVED.
- 21.) TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORMWATER MANAGEMENT FEATURE, OR STORM, OR UTILITY EASEMENTS.

ENGINEERING NOTES:

UPON APPROVAL OF CONDITIONAL DISTRICT AND SUBMITTAL OF CONSTRUCTION DRAWINGS:

- 1.) PROVIDE DESIGN DRAWINGS CONTAINING ROAD CENTERLINE PROFILES, CENTERLINE GEOMETRY, EASEMENTS, STREET CROSS-SECTIONS, ETC. PER THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL.
- 2.) PUBLIC STORM DRAIN EASEMENTS ARE REQUIRED ON ALL DRAINAGE WAYS THAT ARE LOCATED OUTSIDE THE STREET RIGHT-OF-WAY AS FOLLOWS:
OPEN CHANNELS 0-45 ACRES-20' MINIMUM EASEMENT REQUIRED
STORM DRAINAGE PIPE: >45 ACRES- AS DIRECTED BY THE ENGINEER
EASEMENT REQUIRED 15", 18", 24" -15' MINIMUM
30", 36", 42", 48" -20' MINIMUM
EASEMENT REQUIRED 54" PLUS -30' MINIMUM
EASEMENT REQUIRED (STANDARD SPECIFICATIONS AND DETAIL MANUAL, SECTION 04.02.01)
- 3.) PROVIDE STORMWATER MANAGEMENT DESIGN ALONG WITH ACCOMPANYING DOCUMENTS SUCH AS THE STORMWATER MAINTENANCE AGREEMENT, STORMWATER PERMIT APPLICATION, ETC. AS PER THE ADMINISTRATIVE MANUAL FOR IMPLEMENTATION OF THE STORMWATER MANAGEMENT ORDINANCE.
- 4.) PROVIDE AN EROSION AND SEDIMENTATION CONTROL PLAN FOR GRADING ACTIVITIES TO BE APPROVED BY THE CITY OF MONROE.
- 5.) AS-BUILT DRAWINGS AND DIGITAL FILES OF STREET LAYOUTS CONTAINING CENTERLINES, EDGE OF PAVEMENT, SIDEWALKS, STREET PROFILES, AND DRAINAGE SYSTEM WILL BE REQUIRED PRIOR TO THE CITY ACCEPTING THE STREETS FOR MAINTENANCE.
- 6.) A CONSTRUCTION BOND IN THE AMOUNT OF 110% OF THE ESTIMATED COST OF COMPLETION IS REQUIRED PER SECTION 07.17 OF THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL FOR INFRA-STRUCTURE IMPROVEMENTS IF THE RECORD PLAT IS TO BE RECORDED PRIOR TO ACCEPTANCE. SEPARATE BONDS ARE REQUIRED FOR EROSION AND SEDIMENTATION CONTROL AND STORMWATER AS PART OF THE PLAN APPROVAL PROCESS.
- 7.) PROVIDE A 25+1 FLOOD ANALYSIS ALONG STREAMS WHICH SERVE TO DRAIN 10 ACRES OR MORE, AS WELL AS ALL OTHER APPLICABLE ITEMS CONTAINED IN THE (STANDARD SPECIFICATIONS AND DETAIL MANUAL, SECTION 07.06.03).

NOTE: STREET TREE PLACEMENT MAY BE SUBJECT TO MODIFICATION DURING THE PRELIMINARY PLAN PHASE TO MEET THE TOWN'S ENGINEERING DESIGN REQUIREMENTS.

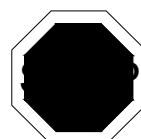


APPROVED
By City Council 9/4/18

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

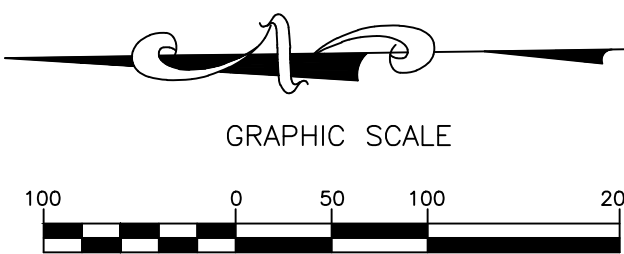
CENTER AT 811.

IT'S THE LAW.



LEGEND:

- DEVELOPMENT BOUNDARY
- - - EXISTING RIGHT-OF-WAY
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE



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REFERENCE: ALL PARCEL AND BOUNDARY INFORMATION, ADJACENT PROPERTIES, PROPERTY DIMENSIONS, TOPO, AND COORDINATES REFERENCED FROM A SURVEY PROVIDED BY MCKIM AND CREED.



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Low Impact Development
Small-Scale Building Design

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Seals:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

VILLAGE AT ROCKY RIVER

BY MONROE, NORTH CAROLINA

STREETSCAPE LAND PARTNERS
10815 SIKES PLACE SUITE 300
CHARLOTTE, NC 28277
(704) 321-1000

Project Number: 17-17-230

Date: 08-24-2018

Drawn By: EML

Checked By: NRP

Revisions:

05/29/18	ORIGINAL SUBMITTAL
07/24/18	PER CITY OF MONROE
07/30/18	PER CITY OF MONROE
08/24/18	PER DEVELOPER

Sheet Title:

**Tree
Planting/
Tree Save
Plan**

Sheet No:

C-3.0