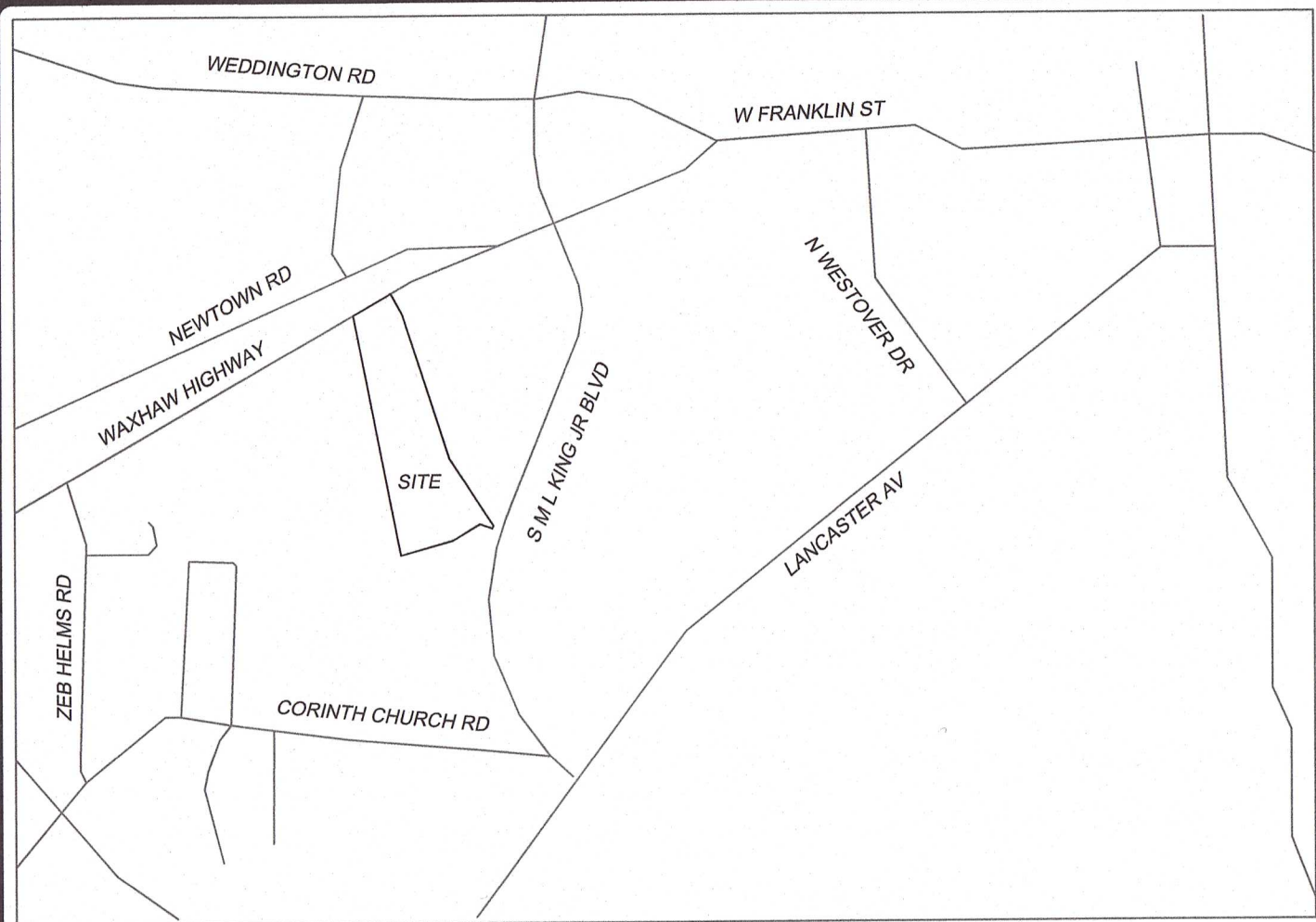
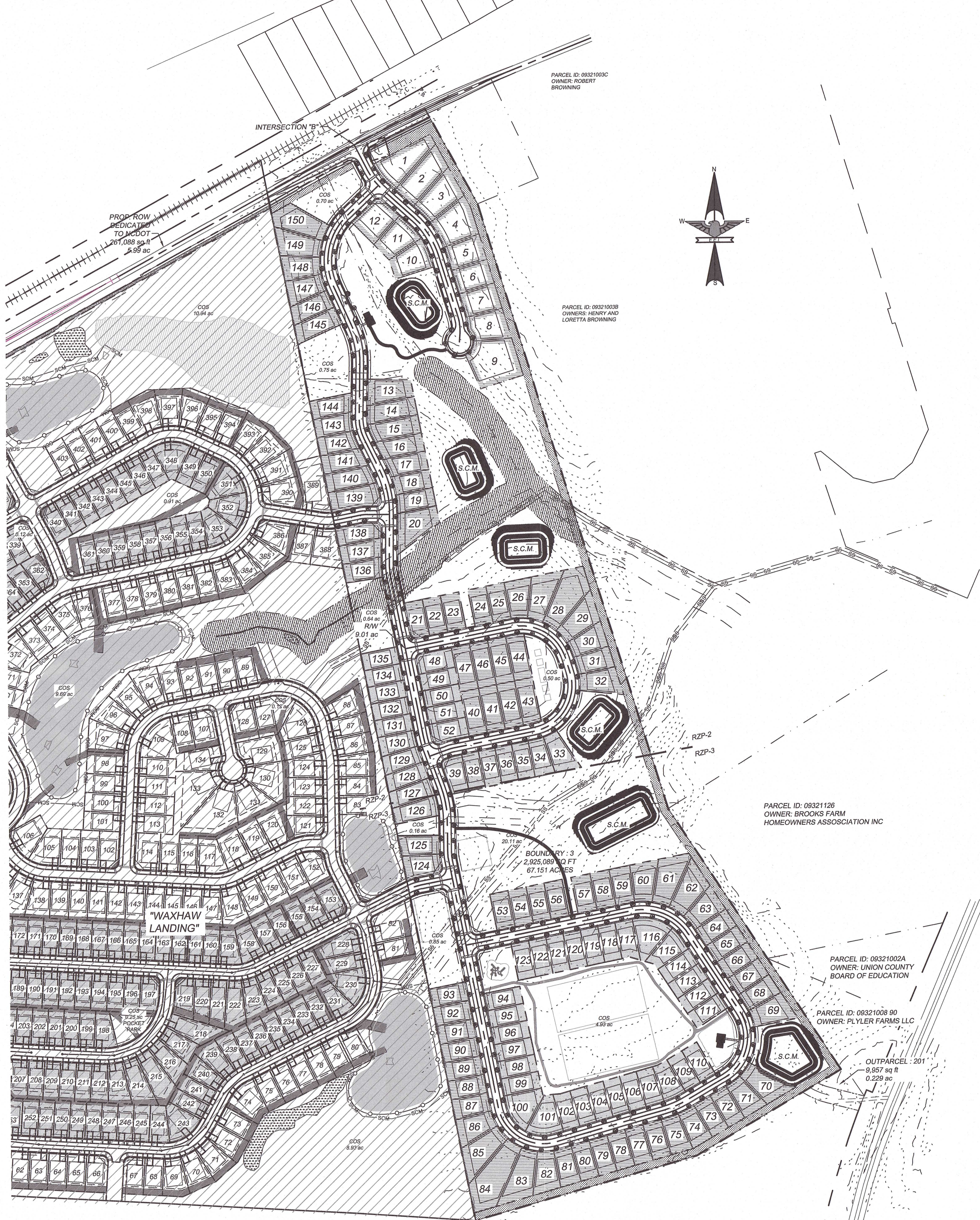




VICINITY MAP
(NOT TO SCALE)

- 55' WIDE LOTS
- 60' WIDE LOTS
- 80' WIDE LOTS



SITE AND DEVELOPMENT DATA	
JURISDICTION	TO BE ANNEXED INTO MONROE
PROPOSED JURISDICTION	CITY OF MONROE
TAX PARCEL(S)	09321003
DEED BOOK AND PAGE	7926/361
SITE ADDRESS:	WAXHAW HWY
ZONING	RA-20, RA-40 (UNION COUNTY)
PROPOSED ZONING	CONDITIONAL DISTRICT- "WAXHAW LANDING - PHASE 3"
TOTAL AREA	67.15 AC
LOT SUMMARY	150 LOTS (12-80' WIDE, 86-60' WIDE, 52-55' WIDE)
DENSITY	2.23 LOTS PER ACRE
AREA IN LOTS	29.51 AC
OPEN SPACE	28.63 AC (42.63%)
SETBACKS IN CONDITIONAL DISTRICT	
MINIMUM FRONT SETBACK	25'
MINIMUM CORNER/SIDE SETBACK	10'/5'
MINIMUM REAR SETBACK	25'
MINIMUM LOT SIZE	6,000 SQ. FT. (AVG. AREA- 8,568 SQ. FT.)
MINIMUM LOT WIDTH	55'

PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE: [Signature] DATE: APRIL 14, 2022

EAGLE ENGINEERING

2013A Van Buren Avenue
Indian Trail, NC 28079
(704) 882-4222
www.eagleonline.net

NO.	DATE	BY	ISSUE
1	9/1/2021	KCB	REVISED PER CITY OF MONROE COMMENTS
2	11/04/2021	KCB	REVISED PER CITY OF MONROE COMMENTS
3	02/15/22	KEL	REVISED LAYOUT

WAXHAW LANDING - PHASE 3
MONROE, NC

BRD LAND & INVESTMENT I, LP
725 CHERRY ROAD, SUITE 3234
ROCK HILL, SC 29730

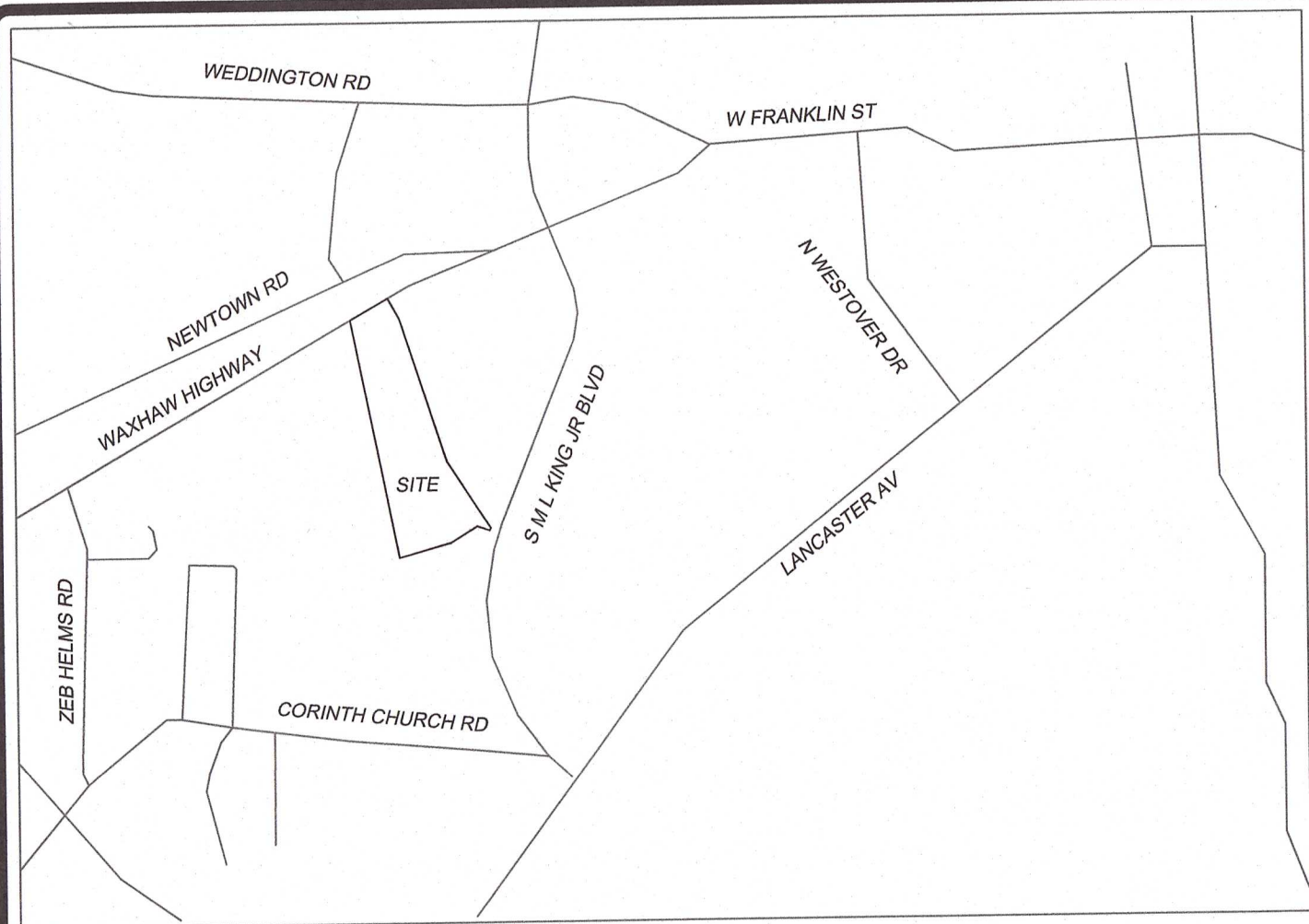
DESIGNED BY	DAM	CHECKED BY	KCB	BLD
DATE	05/27/2021	DATE	05/27/2021	DATE
Scale	AS SHOWN	Scale	AS SHOWN	Scale

Sheet

RZP-1

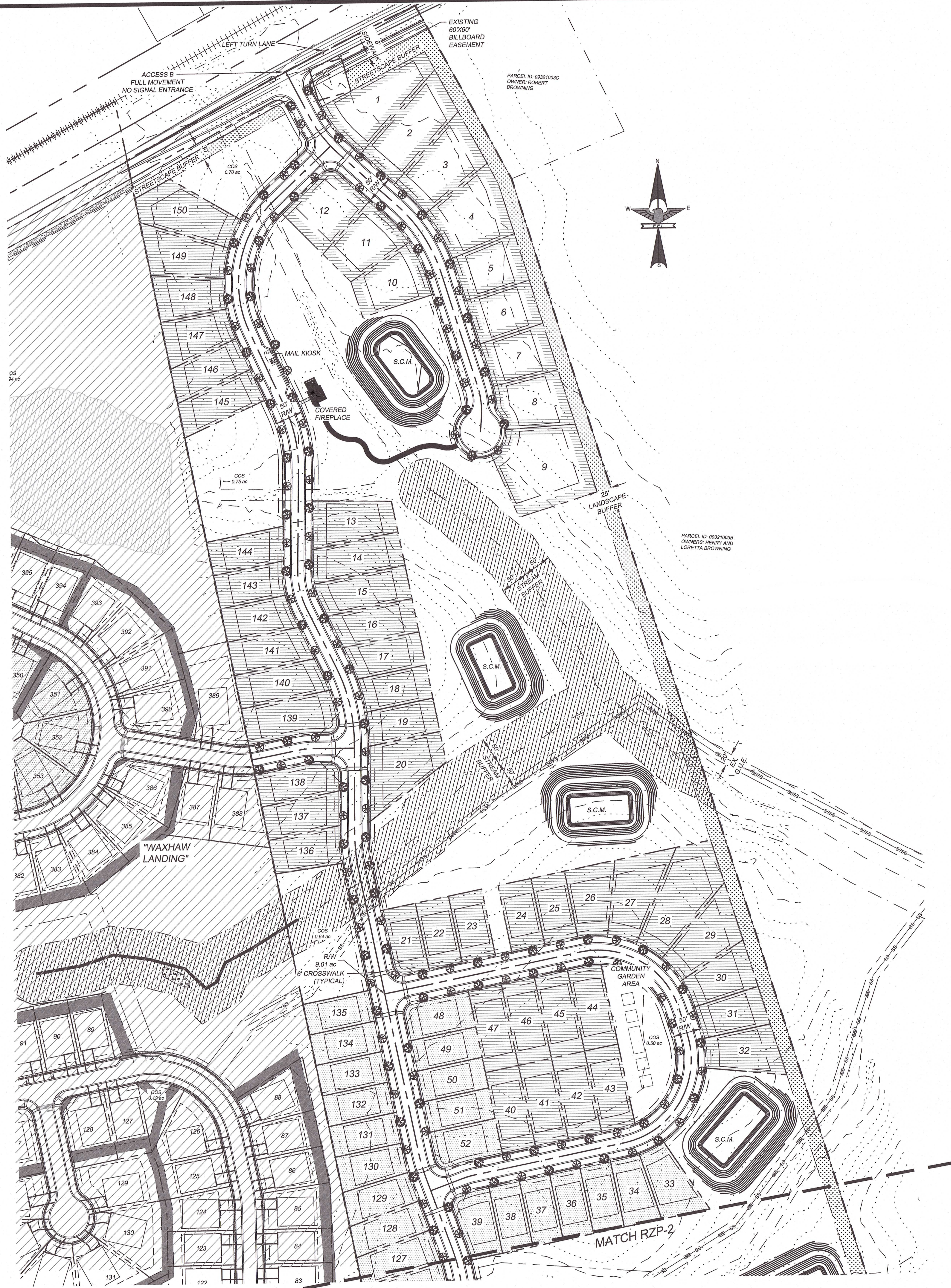
APPROVED
by CC 4-12-22

GRAPHIC SCALE
0 200' 400'
(IN FEET)
1 inch = 200 ft.



VICINITY MAP
(NOT TO SCALE)

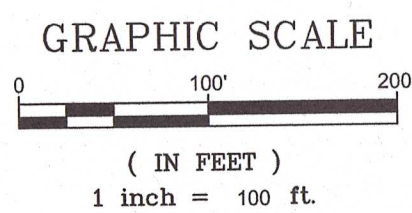
- 55' WIDE LOTS
- 60' WIDE LOTS
- 80' WIDE LOTS



PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE: *[Signature]* DATE: *April 19, 2022*

APPROVED
by CC 4-12-22



SEE SHEET RZP-3
FOR NOTES & DETAILS ON THIS PROJECT

NO.	DATE	BY	ISSUE
1	9/1/2021	KCB	REVISED PER CITY OF MONROE COMMENTS
2	11/04/2021	KCB	REVISED PER CITY OF MONROE COMMENTS
3	02/16/22	KEL	REVISED LAYOUT

WAXHAW LANDING - PHASE 3
MONROE, NC

BRD LAND & INVESTMENT I, LP
725 CHERRY ROAD, SUITE 3234
ROCK HILL, SC 29730

REZONING SITE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	BLD
DAMI	KCB		
AS SHOWN	DATE	JOB NUMBER	SHEET
Scale	06/27/2021	1461 / 7530	

X:\Land Projects\202305 - Waxhaw Landing - Phase 3\DWG\230505-03-Concept-Resoning\230505-03-Resoning.dwg - 10/23/2023 10:34 AM

PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED
BY CITY COUNCIL, WHICH ARE LISTED ON THIS SITE PLAN.

[Signature]
PETITIONER SIGNATURE

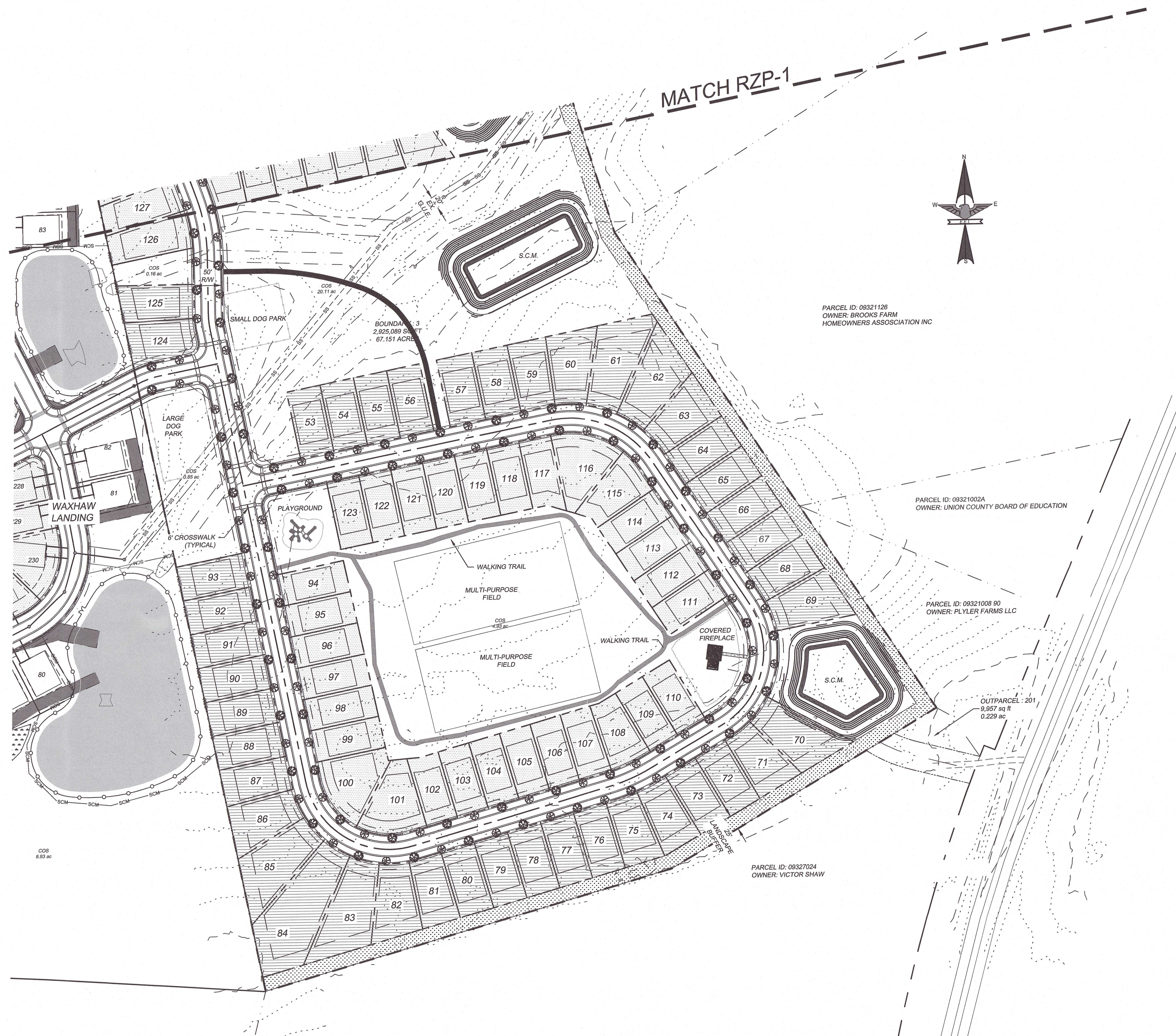
APR 14, 2022
DATE

SEE SHEET RZP-3
FOR NOTES & DETAILS ON THIS PROJECT

55' WIDE LOTS

60' WIDE LOTS

80' WIDE LOTS



APPROVED
by cc 4-12-22

GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft.

EAGLE ENGINEERING

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WAXHAW LANDING - PHASE 3
MONROE, NC

BRD LAND & INVESTMENT I, LP
725 CHERRY ROAD, SUITE 3234
ROCK HILL, SC 29730

REZONING SITE PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	BLD
DAM	KCB	KCB	BLD
AS SHOWN	DATE	JOB NUMBER	Scale
AS SHOWN	05/27/2021	7461 / 7530	1/4" = 1' / 1" = 1'

Sheet

RZP-3

Parcel Table		
Parcel #	Sq. Ft.	Acres
101	10,229	0.23
102	6,785	0.16
103	6,730	0.15
104	6,730	0.15
105	6,730	0.15
106	6,730	0.15
107	6,875	0.16
108	7,600	0.17
109	6,737	0.15
110	6,730	0.15
111	6,863	0.16
112	6,864	0.16
113	6,863	0.16
114	6,862	0.16
115	8,418	0.19
116	10,659	0.24
117	7,166	0.16
118	6,907	0.16
119	6,907	0.16
120	6,907	0.16
121	6,907	0.16
122	6,907	0.16
123	6,907	0.16
124	8,441	0.19
125	8,107	0.19
126	8,740	0.20
127	8,026	0.18
128	7,406	0.17
129	7,205	0.17
130	7,007	0.16
131	6,600	0.15
132	6,600	0.15
133	6,600	0.15
134	6,600	0.15
135	6,600	0.15
136	7,845	0.18
137	8,171	0.19
138	8,478	0.19
139	11,249	0.26
140	9,302	0.21
141	8,353	0.19
142	7,444	0.17
143	7,312	0.17
144	8,006	0.18
145	9,059	0.21
146	8,213	0.19
147	8,519	0.20
148	8,493	0.19
149	10,378	0.24
150	12,539	0.29

A diagram of a circular garden layout. Five plants are arranged in a circle, each represented by a different symbol: Laurel Oak (a leafy branch), Glossy Abelia (a cluster of small circles), Red Maple (a wheel-like symbol with spokes), Coral Bells (a cluster of small circles with a central dot), and Boxwood (a circular symbol with a cross inside). Lines connect the plant names to their respective symbols.

SITE DEVELOPMENT NOTES:

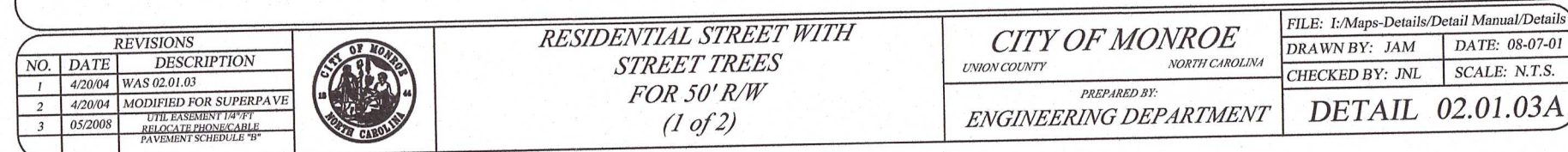
- PAVEMENT SCHEDULE*

- PAVEMENT CONSTRUCTION
- | | |
|---|--|
| 1 | 1 in. BIT. CONC., SURFACE COURSE, TYPE SF 9.5A |
| 2 | 2.5 in. BIT. CONC. BINDER COURSE, TYPE I 19.0B |
| 3 | 4 in. BIT. CONC. BASE COURSE, TYPE B 25.0B
OR 6 in. COMPACTED AGGREGATE BASE COURSE |
| 4 | 2 ft. 0 in. VALLEY & GUTTER |
| 5 | 4 in. CONCRETE SIDEWALK; 5 ft. WIDTH |

NOTES

1. UTILITY LOCATIONS SHOWN (OTHER THAN PHONE & CABLE) ARE FOR UTILITIES OWNED AND OPERATED BY THE CITY OF MONROE
2. DEPTHS SHOWN ARE MINIMUM DEPTHS OF BURY
3. STREET LIGHTS WILL BE ON ONE SIDE OF ROAD DEPENDING ON SUBDIVISION LAYOUT

*PAVEMENT STRUCTURE FOR RESIDENTIAL STREETS WITH
LESS THAN 4,000 VEHICLES PER DAY.



CITY OF MONROE
LUNEN COUNTY NORTH CAROLINA
PREPARED BY:
ENGINEERING DEPARTMENT

FILE: L:\Maps-Details\Detail Manual\Details	
DRAWN BY: JAM	DATE: 08-07-01
CHECKED BY: JNL	SCALE: N.T.S.
DETAIL 02.01.03A	

1. DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THIS CONDITIONAL ZONING PLAN, DEVELOPMENT STANDARDS, AND THE APPLICABLE PROVISIONS OF THE CITY OF MONROE UNIFIED DEVELOPMENT ORDINANCE (UDO).
2. THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, AND OTHER SITE ELEMENTS SET FORTH ON THE ZONING SITE PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT AND SITE ELEMENTS PROPOSED AND MAY BE ALTERED SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR.
3. ZONING IS TO BE CHANGED FROM RA-20 AND RA-40 (UNION COUNTY) TO CONDITIONAL DISTRICT "WAXHAW LANDING - PHASE 3"

OFF-SITE ROAD IMPROVEMENTS:

1. ACCESS D ONTO NC 75
- 1.1. CONSTRUCT WESTBOUND LEFT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE TAPERS.
- 1.2. INSTALL THREE LANE SECTION BETWEEN ACCESS D AND ACCESS B.
2. FLETCHER BROOME ROAD @ NC75 INTERSECTION
- 2.1. CONSTRUCT EASTBOUND AND WESTBOUND LEFT TURN LANES ALONG NC 75 WITH 100' OF FULL STORAGE AND APPROPRIATE TAPERS.
- 2.2. ADD "DO NOT STOP ON TRACKS" SIGNS.
- 2.3. AND "DO NOT STOP ON TRACKS" SIGNS SHALL BE CONSTRUCTED AS PART OF IMPROVEMENTS TO THIS INTERSECTION.
3. NCDOT WILL ALLOW PLATTING OF 25 LOTS FOR EACH OF THE BROWNING AND STARNES PORTIONS (PH. 2 & 3) OF WAXHAUW LANDING PRIOR TO ROADWAY IMPROVEMENTS BEING INSTALLED. PLATTING OF THE 25 LOTS WILL BE EITHER THE BROWNING OR STARNES PORTION OF THE DEVELOPMENT. THE FULL COMPLETION OF IMPROVEMENTS TO THE FLETCHER BROOME @ NC75 INTERSECTION, BOTH TURN LANES AND SIGNAL, SHALL BE INSTALLED AND OPERATIONAL.

PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL WHICH ARE LISTED ON THIS SITE PLAN.

PETITIONER SIGNATURE

APRIL 19, 2022
DATE

EAGLE ENGINEERING



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REZONING SITE PLAN

DESIGNED BY	DAM	DRAWN BY	KCB	CHECKED BY	BLD
Scale	AS SHOWN	DATE	05/27/2021	JOB NUMBER	7461 / 7530

APPROVED
by cc 4-12-22

Sheet

RZP-4